

michigan society of architects november 1962 50¢

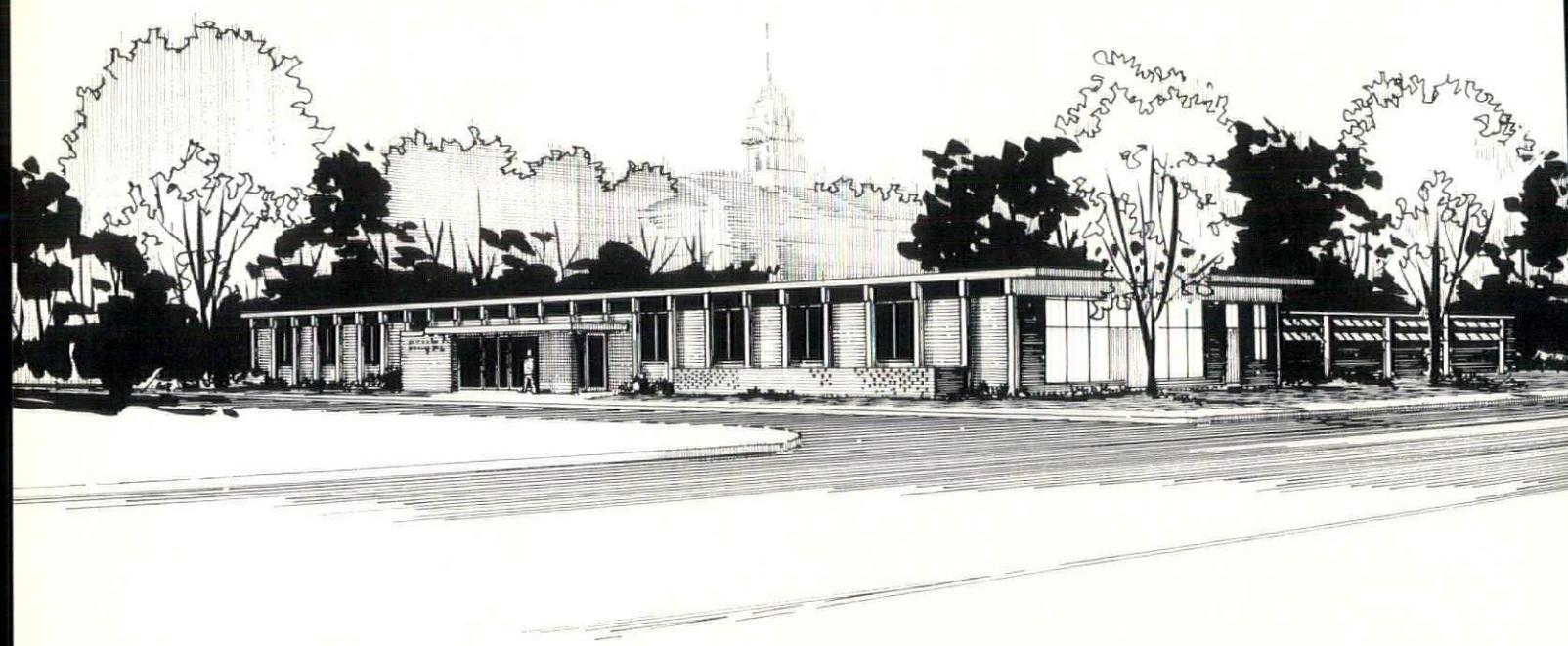
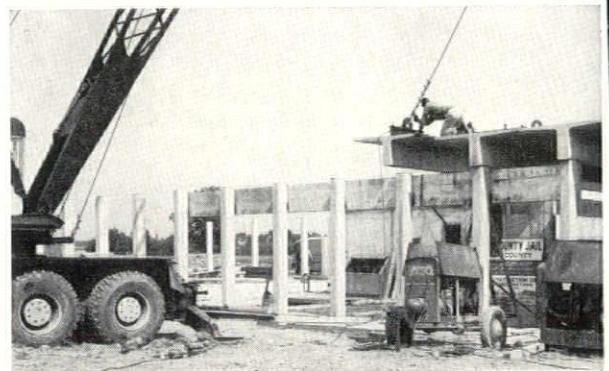
Architectural
Review
MICHIGAN
SOCIETY OF ARCHITECTS

BULLETIN
monthly

we're in jail!

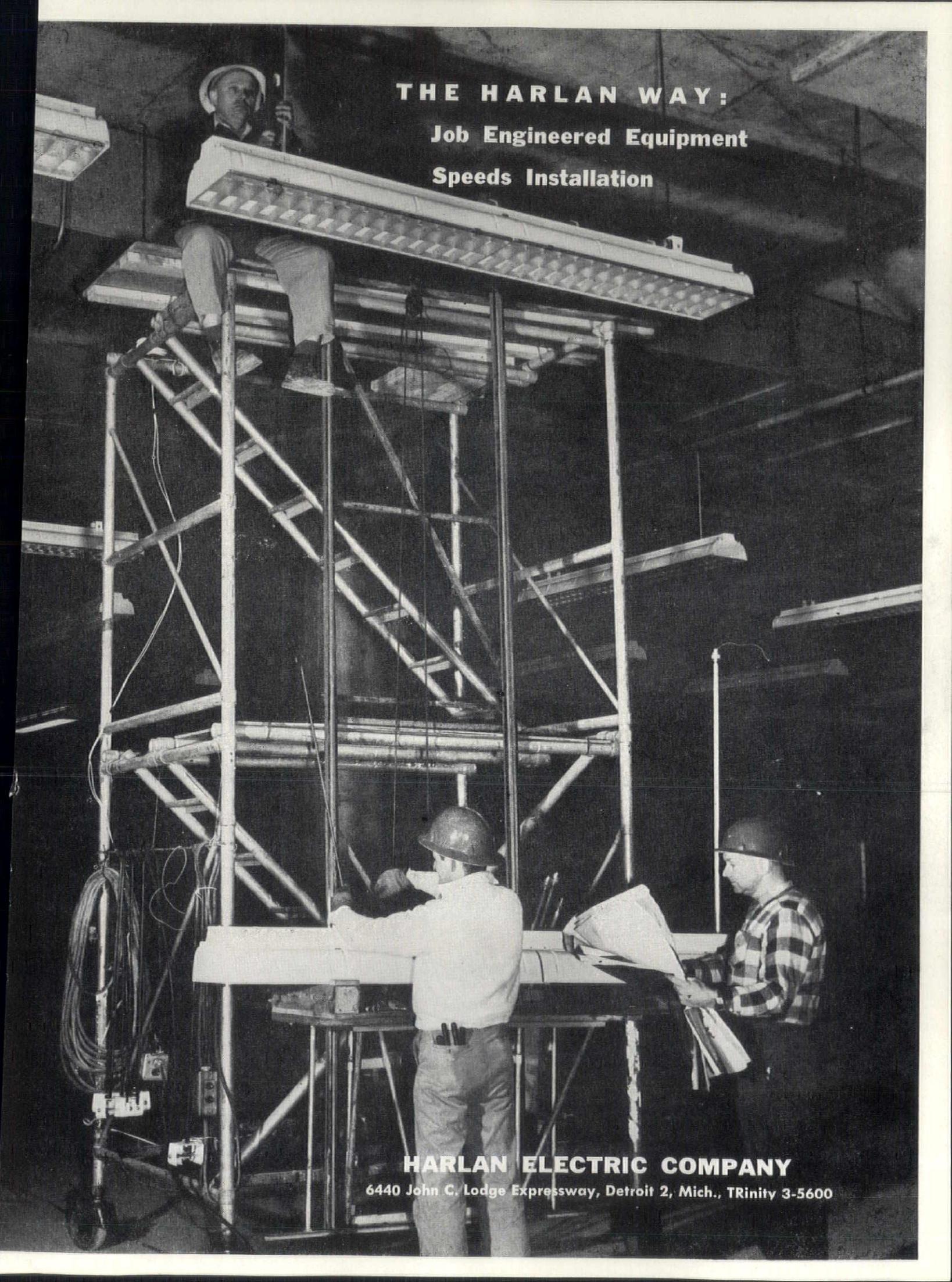
We feel mighty proud being in the Mount Pleasant Jail you see illustrated below. And we owe it all to Cuthbert & Cuthbert, architect and engineer, who liked our precast concrete products so well that they not only used our Flexicore for the roof in the Prison Wing, but also our Giant Tee roof sections, precast columns, wall panels and Double Tee floor slabs in the Administration Wing. We think you, too, would like the uniform quality, the ease and speed of installation, and the fireproof feature of our precast concrete products.

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 **MICHIGAN CONSOLIDATED
GAS COMPANY**

1962

michigan society of architects november

BULLETIN

monthly

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THE MONTHLY BULLETIN IS PUBLISHED FOR THE MICHIGAN SOCIETY OF ARCHITECTS TO ADVANCE THE PROFESSION OF ARCHITECTURE IN THE STATE OF MICHIGAN.

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GARY R. GROUT, Ann Arbor Press

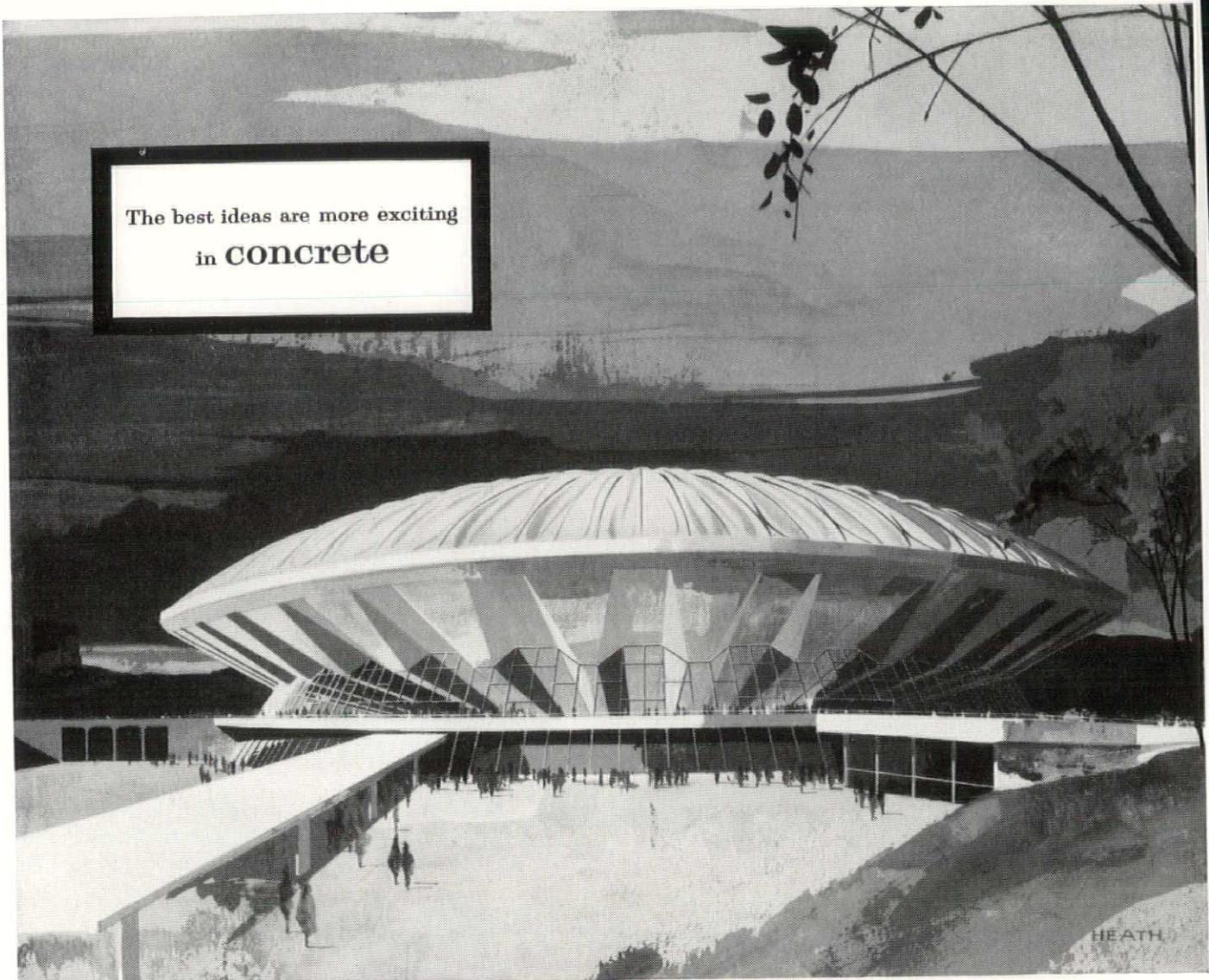
Walter B. Sanders, AIA

CHAPTER ASSOCIATE EDITORS

EDUCATION . . . Robert F. Hastings, FAIA

Detroit . . . Wallace Clelland, AIA

Monthly Bulletin, Michigan Society of Architects, the official publication of the Society; all Michigan Chapters of the American Institute of Architects; Women's Architectural League of Detroit (WALD); Producers Council, Inc., Michigan Chapter; Builders & Traders Exchanges of Detroit, Grand Rapids and Lansing is published monthly by the Michigan Architectural Foundation; Editorial and Advertising Offices—28 West Adams, Detroit 26, Michigan, Phone: 965-4100.



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“Floating saucer” of folded concrete roofs 3 acres

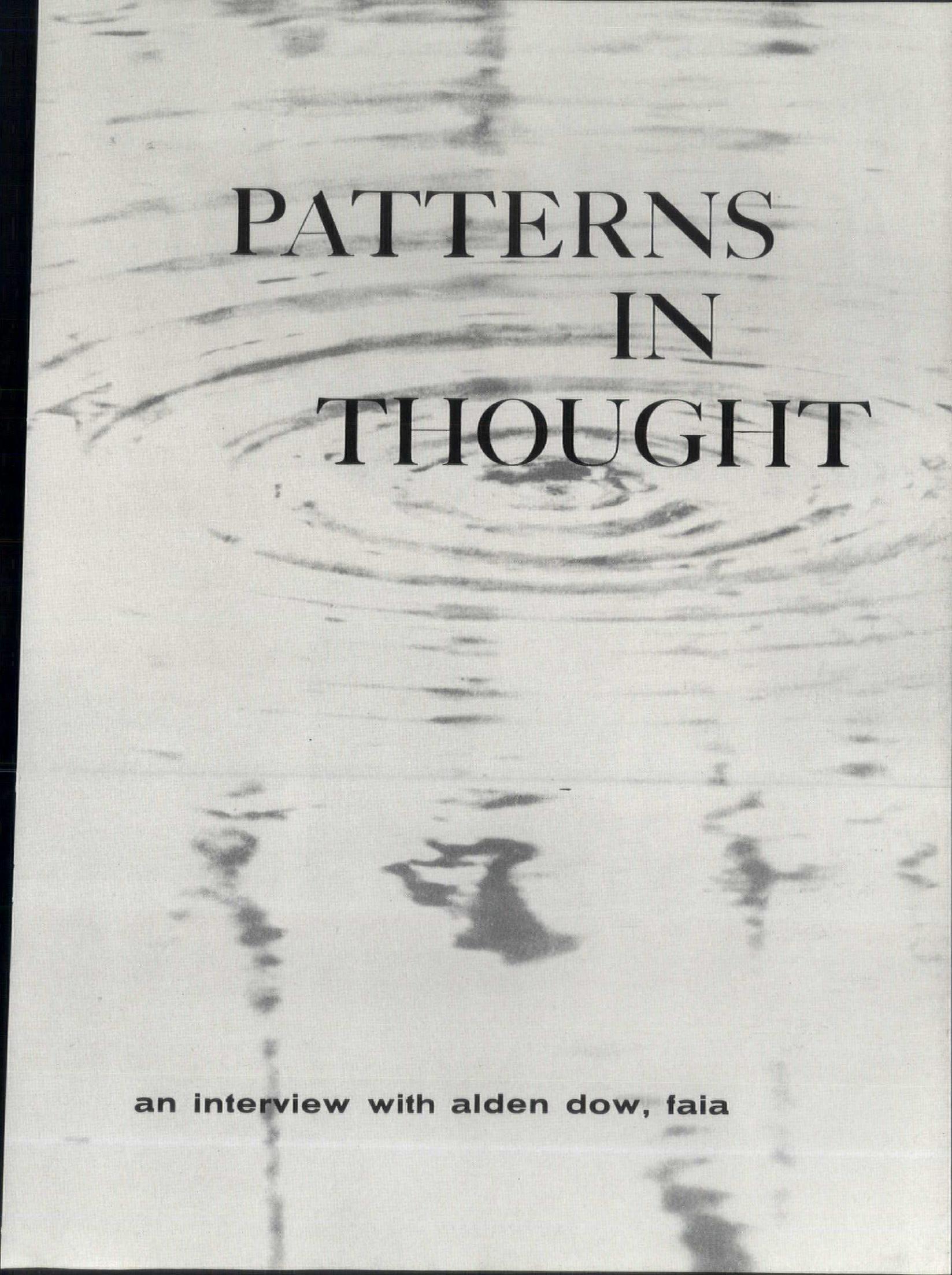
Free of supporting columns, the roof of the new University of Illinois Assembly Hall will seem to “float” over the spectators. This is the world’s largest concrete dome, 400 feet across and weighing 5,000 tons. It is borne entirely by a peripheral ring of prestressed concrete resting on 48 concrete buttresses.

There’s an unobstructed view from every seat in the house for sports events. Seating arrangements and staging are readily adaptable for theatricals and concerts. For insulation and acoustical control, the underside of the roof will be lined with cement-wood fiber panels.

The use of concrete to effect such architectural and engineering achievements is seen more and more today. Everywhere architects are turning to versatile concrete to create designs of outstanding beauty and functionality.

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Stoddard Building, Lansing 23, Michigan



PATTERNS IN THOUGHT

an interview with alden dow, faia

What do you think of the opening of Lincoln Center?

The concert on television the other night was as exciting as anything I've heard in a long time. The Corning film that went along with it was equally well done. It was the sight and sound of a cultural standard that can be praised only with superlatives! We can only deduce that our cultural standards are higher than they used to be . . . good and bad are all around us . . . certainly the Lincoln Center's first evening was a selection of good. This is cultural growth and expansion.

Do you think good evolves from the bad?

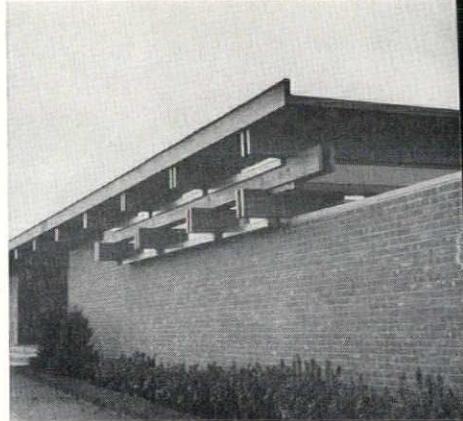
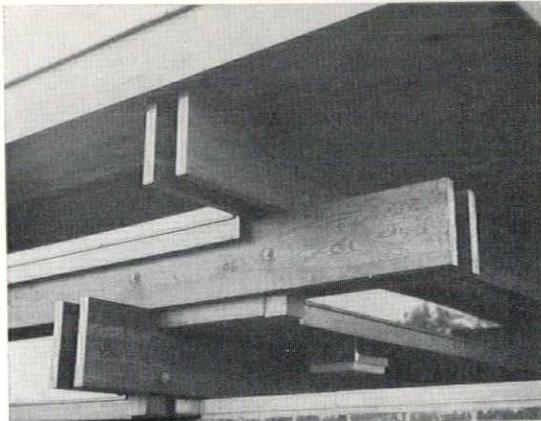
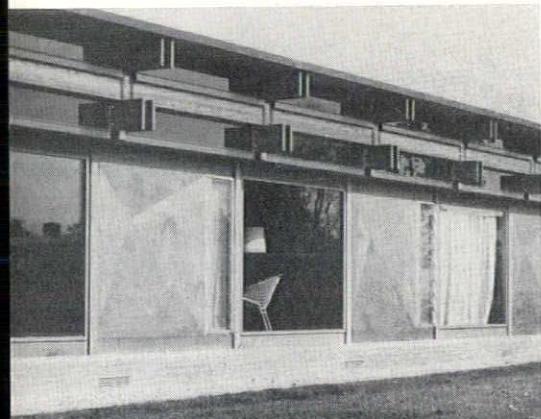
Yes. By contrast with bad, the good becomes more obvious.

Do you feel there was too much largeness to the music at Lincoln Center?

Perhaps. But think of what a thrill it must have been for Bernstein to find that the auditorium really was working right with that tremendous orchestra and chorus. I would have wanted to roll cannons.

What about the structure itself?

I haven't seen it. But obviously, it is a wonderful place for people to meet with their common interests.



They become a part of the act?

Yes. The audience dresses to honor the artists and the occasion. Everyone, artists and audience, is at his best. I don't think it happens enough, really.

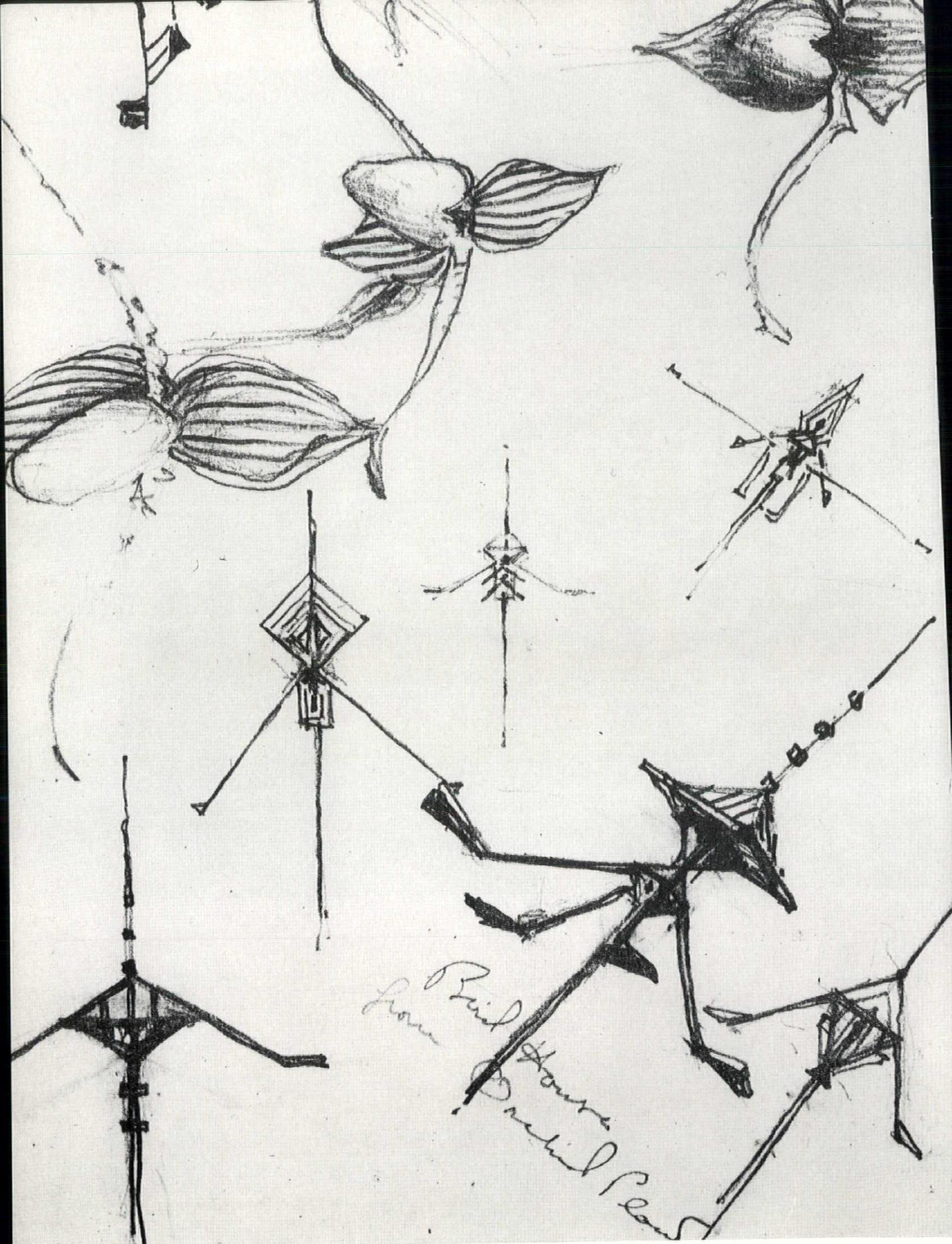
Is this just because of advertising or is this a real truism for people?

I believe it's not just a truism but a fact. A change of attire changes the way a person feels. A change of environment does the same thing. External variety develops interest from within.



How do you feel about fun?

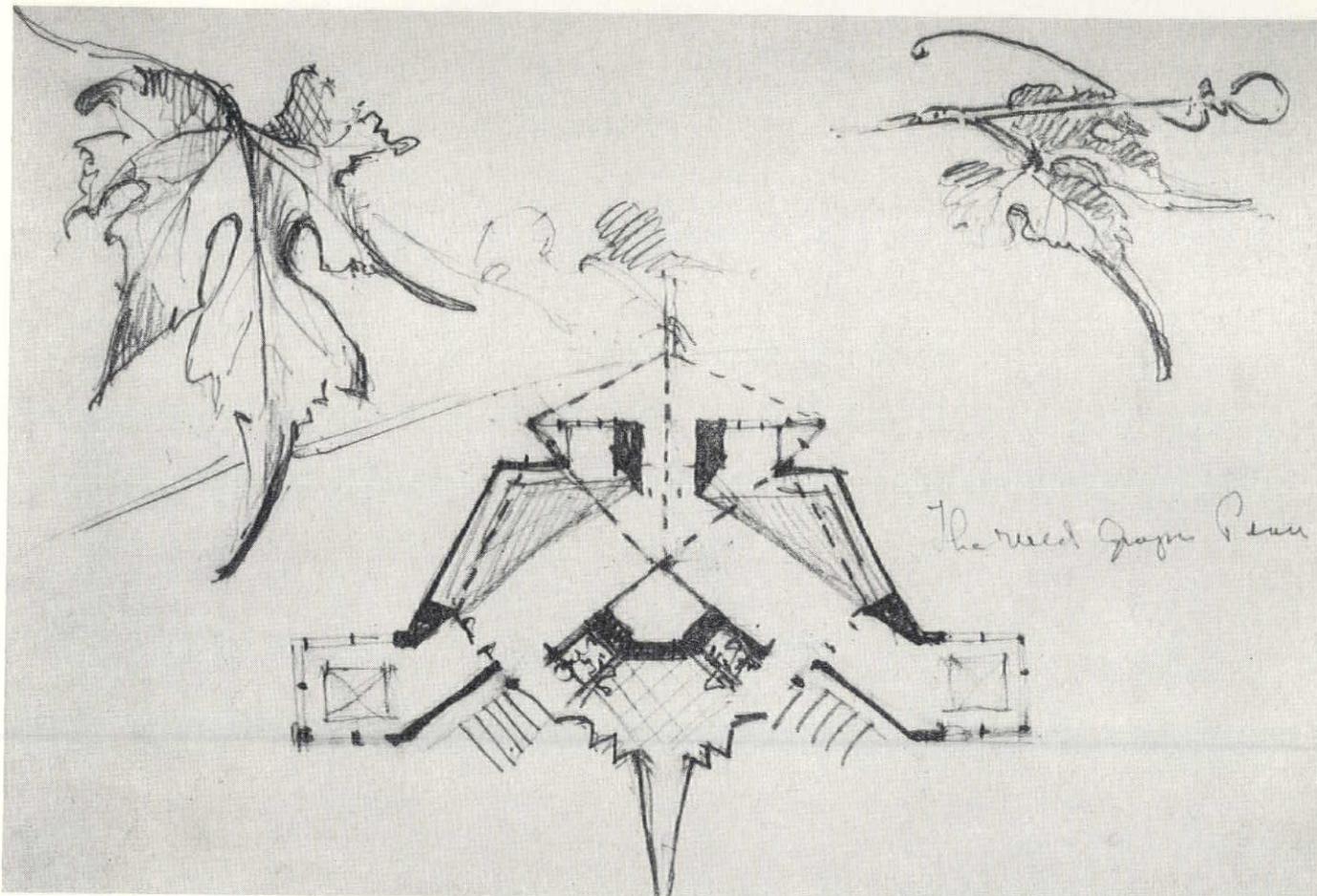
Fun can be found almost everywhere. If one works to find it, only then is it elusive. There can be fun in hard physical work or play. There's fun in a pleasant discovery, in a new idea. And there is always fun in contributing to other people's fun.



Drawings from a sketch book dated 1933 illustrate one of Alden Dow's theories—inspiration in nature for man-made structures.

What is your opinion about greater cooperation between the Architect and the Artist?

Here is a problem, particularly in this country because our people come from a variety of national backgrounds, each with different tastes and interests. This makes it very hard to combine the artist in one field with the artist in another. A lack of cooperation is in evidence when the artist, painter, sculptor or landscape artist wants to dominate, as is often true. The result is a lack of the continuity which is essential to quality. But some day, artists will understand each other better. The richness of the results will be beyond our imaginations today.



Is there any way better Architect-Artist relationships can be established?

I think it is a matter of understanding each other. Those who understand each other should work together and then work to broaden their understanding of others. There is endless space for enrichment in our lives. The artist of every imaginable human effort can contribute to this wonderful life provided each artist will reach toward the others.

What happened to the landscape gardener? Today they call themselves landscape architects. They prefer to build a garden out of wood or concrete. We need artists of planting. Why did they give up gardening?

How do you feel about civic committees on aesthetic responsibility?

If you mean city planning commissions and similar bodies, I believe they are necessary. All people fear controls, and rightly so, but in their proper place controls are necessary if we are to have communities of quality. Controls are creative and constructive when they develop within the idea. They are destructive when imposed from the outside.

If you are baking a cake, you must have control of all the ingredients which go into it, the heat which cooks it—even the way it's cut and served. This is control from within the idea and it is always creative. But if you have to take orders from some outside authority telling you how much sugar, how large the cake must be, what flavor, you will not have anything but a so-so cake. This is an example of controls from the outside. They are destructive in that they destroy the pride and pleasure of personal creativity.

Whom would you put on a committee on aesthetic responsibility?

A sculptor, a painter, a gardener, the over-all city planner, and an architect.

How about a politician?

Yes. He must keep the idea before the people. This is the responsibility of the politician.

Who or what is responsible for ugliness?

Ignorance.

How do you feel about theatre in general?

Theatre must have new ideas. We find that theatre people generally talk about being in a creative art form but do not want to change anything on stage. They want the same old proscenium arch and the switchboard back stage, way out of the way where it never should have been in the first place. They want the orchestra right down center. It is difficult to interest them in something new. Community theatre can do things in the new ways which can improve the old.

I am wondering if there is a new stage at Lincoln Center. I don't believe there is a new stage idea in terms of mechanics, in terms of relationship of stage to audience and staging to architecture. The architecture of the building really should be a major contributor to the stage.

What was your experiment with lighting?

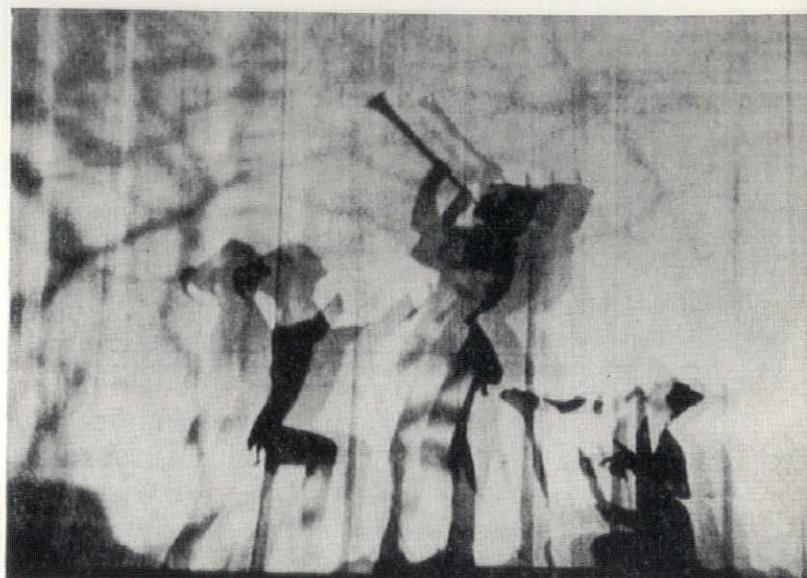
This was several years ago. A featured pianist was going to give a concert. I had lunch with him several months before the concert and told him how much I enjoyed his music, but added that my eyes became tired watching any artist play too long. By the time intermission rolls around, as a rule, I am ready to go home. I suggested to this artist the use of an idea we have used in our house for several years—a translucent screen upon which we could interpret the mood or story of the music by shadows and reflections in the primary and secondary colors. My artist friend agreed to take the chance and the concert was a success.

Three months later, we put on a fantasy written by Mrs. Jean Stark of Midland. This deserves to be repeated.

Is too much richness to the senses possible?

Yes, and when it occurs, it is bad taste, but when richness is properly balanced with plainness, the balance can be built to the greatest heights.

Action and reaction are the most important forces we have. Our office operates on this principle. If someone wants to argue, no matter what it is, I am delighted to have him do so. Argument is deadly when it lacks knowledge of what a subject is all about; but there is nothing more constructive and no better way of building a good idea than through an intelligent argument.



One of the great problems of running an office or business is to inspire those who are working with you to really do their best. This is the greatest problem there is in any line of work. Pride of participation is a must. In architecture, a building is so involved it must inspire as many people as possible. We can't afford to have anyone working on a building who does not feel that he is a very vital part of it. The objective of a building itself is the same—it must inspire those who use it.

How can this participation factor be stimulated?

Through understanding on the part of the employer and the employee. Both must understand this problem and recognize that both are trying to do everything possible to produce the best result. It is fun working when everyone feels this way. It is like playing a game. I believe that the boss's relationship to the employees should be understood—and it includes the readiness to assume responsibility. Even when he must close an argument, all those concerned should have contributed. His decision is directed toward unifying the variety of ideas and know-how from the group. Both consistency of character and spontaneity must exist in the finished product.

How do you feel about today's educational trends?

I wish that universities would become interested in the idea of shortening the period of college work, rather than lengthening it. Architectural schools used to be four years, then five years. Now they are talking about six years. I don't think this is a healthy thing for architecture. It does more and more to make a student conform to ideas that may be bad ones.

How long would you make the formal period of architectural learning?

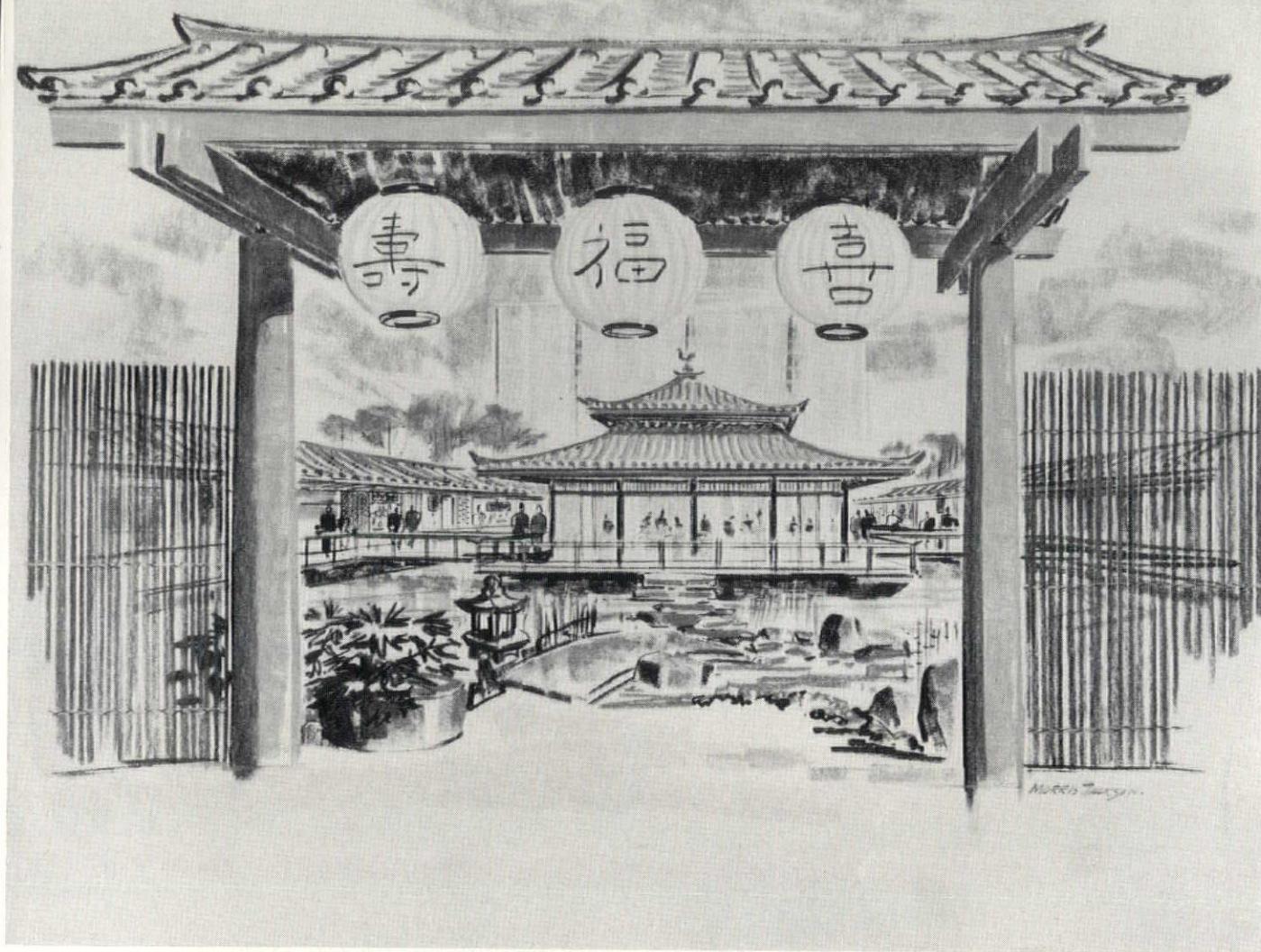
I'd like to see a school with the ambition to make practical builders in two years' time. This wouldn't mean architects would be turned out in that period, but "graduates" would be producers of something in the building field. Through apprenticeship and proper examination two years later, they could become architects.

What are the qualities of the ideal architect?

First of all, he must be fascinated with buildings. He must have an interest in every kind of design. In a way, I think he must be a jack-of-all trades. He must be a good engineer, must have a knowledge of all of the mechanical and building trades. He must enjoy gardening. He must be familiar with building materials. He must like to work with his hands. I can't think of anything he shouldn't be interested in. He must have great patience and he must have enthusiasm. He must have many ways of expressing himself; most important of all, with pencil and paper. Drawing is the universal language for explaining an idea. It is the architect's most important tool.



Alden Dow



INTERNATIONAL VILLAGE

New land-use and preliminary architectural plans for Detroit's International Village, proposed re-development for the old skid row area, are being studied by a team of architects, engineers and researchers from Smith, Hinchman & Grylls Associates. The firm was recently named architectural coordinator for the project.

Other architects will be assigned at a later date to handle various phases of the development, states Walter G. Shamie, president of International Village, Inc., Buhl Building, Detroit 26.

Under the direction of chief architectural designer Sigmund F. Blum, work is now being concentrated on a multi-phase blueprint that would bring together some 200 specialty shops, international restaurants, art theaters, night clubs and coffee shops occupying 600,000 square feet of selling space.

These will be centered around eight plazas or esplanades, each having its own exotic motif, calculated to make Detroit exciting for visitors and residents alike.

"Our downtown is neither attractive or exciting today," says Mr. Shamie. "Mortar and steel buildings are nice to look at, but not much real fun."

"We have to find a new purpose for downtown. We have to make it a place where colorful small business shops and restaurants can flourish."

Mr. Shamie, who says the village now has financial support from 51 business firms and two labor unions, plans to lease space to small merchants who could not otherwise afford to build shops of their own.

He said the eight plazas will be constructed around the following themes:

—Oriental Quarter, a Japanese garden surrounded by a Polynesian night club, Tokyo-style teahouse, Chinatown and specialty shops featuring everything from paper dragons to jade.

—Early Detroit, a feature urged by local merchants bent on showing off their early business origins, will include a Coney Island, country town bank, and central park and bandstand.

—Afro-Asian Bazaar, where buyers can pick up anything from rich brocades and perfumes to herbs, spices and oriental rugs—or patronize a Lebanese restaurant and Jewish delicatessen built side by side.

—Little Bohemia, a miniature Greenwich Village, to include six art galleries, sidewalk cafe, book and record shops, a Second-City type coffee house and hand-fashioned jewelry emporiums a la Manhattan's 8th Street.

—Latin Court, Mexican, Caribbean and Spanish cuisine featured here.

—La Place d' Europe, 28 Specialty shops that alone will occupy 30,000 square feet, and Irish, Viennese, Hungarian-Gypsy, Balkan-Serbian and Polish restaurants.

—Sports and hobby center, consisting of a year-round skating rink, Swiss chalet restaurant, sports car showroom and 12 stores.

—International trade concourse, in which 11 foreign airlines and three steamship concerns have already applied for space. Among the prospective ticket-sellers here are Sabena, Lufthansa, BOAC, Swissair, Japan Airlines, Air France, Alitalia, KLM and others.

Also planned is a Detroit Industries Pavilion containing office space, museum facilities and a hall of fame to honor early greats of the city.

Nation-wide interest has been aroused by the project, admitted by many to be a \$35 million gamble. But Detroiters, traditionally slow movers in speculative ventures tend to feel they can't let this one go by, Mr. Shamie says.

Mel Ravitz of the common council, quoted in the Chicago Daily News article about the village, states "It's a risk, but we must do something creative if we are to solve the downtown problem. I only hope it will not become a slick Madison Avenue type place, all glitter and gloss and no warmth."

In addition to its tourist pull, Mr. Shamie says the village will also entice many of the downtown area's 100,000 daily shoppers and 150,000 workers during the evening hours.

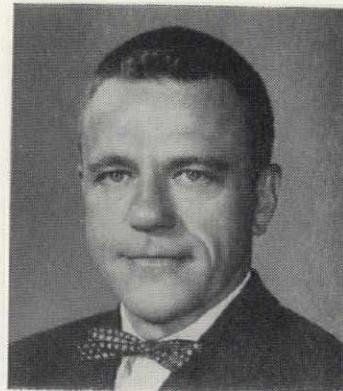
Project advocates also claim it will provide employment for an estimated 5,000 musicians, waiters, shopkeepers and service personnel and rid the city of its factory image.

One important feature is that it will provide quarters for hundreds of small businessmen traditionally disinherited by grandiose urban renewal projects that replace small storefronts with supermarket-sized showplaces.



Who is the Architect . . . You . . . or an Entrepreneur?

by James B. Hughes



For some time, the "Package dealer" has been an object of concern because of his attempts to displace the Architect and the professional service which the Architect renders to his clients. Now, we have in our midst a distant cousin of the "package dealer" who sets himself up between the Architect and his client and undertakes to perform part of the Architect's service under the label of "consultant" to the Owner.

Two examples of this type of operation have recently come to the attention of the Boards of MSA and the Detroit Chapter. Though dissimilar in approach, in both cases, the attempt is to divorce the Architect from direct contact with his client—thus preventing him from performing a full, true professional service. In one instance, activity seems to be concentrated in the area of proposed hospitals—in the other, on schools and other building types.

Professional Facilities Corporation, located in Hazel Park, Mich. offers the following services: "Survey-Programming-Financing-Coordinating-Broker." The following letter was received recently by several architectural firms, regarding proposed hospitals in Warren and Milford:

Gentlemen:

Enclosed herewith is the Program, Construction Budget, Architectural Requirements and the Construction Outline for the purpose of your submitting a bid for the Architectural Services and Construction supervision.

Please submit your bid as a percentage or lump sum as you desire together with a copy of the Architectural Contract with the Sponsor, and an Outline of the payment schedule. Keep in mind that the sponsor is a non-profit fund raising campaign for pledges over a three year period, and using public monies. It is suggested that the early payment be easy and progress as funds become more readily available.

All bids from Architectural firms will be adjudicated and one common fee will be established for the project. At a later date you will then be asked whether or not you wish to do the work at the established fee and make a service and experience presentation to the Board of Directors. At that presentation fee will already have been established and no mention will be forthcoming or mentioned.

If all proceeds well and in order an Architectural contract will be let based on the Boards decisions at an early date.

Return your bid to Professional Facilities Corporation.

Very truly yours,
Professional Facilities Corporation
John F. Ripplinger, President

Paul B. Brown, President of the Detroit Chapter, A.I.A., addressed the following letter to Mr. Ripplinger:

The Executive Committee of the Detroit Chapter, AIA, has directed me to write to you regarding your recent letters requesting "bids" for architectural services. I trust that the response to your letters may have indicated that the method you propose for selecting an architect is unacceptable to responsible members of our profession.

The quality of professional service rendered by its members is a basic concern of the American Institute of Architects. Since practitioners who render the incomplete service dictated by inadequate compensation do a disservice to the profession, our members subscribe to a standard schedule of fees which they consider minimum for competent performance. Any procedure which results in a fee comparable to that of this professional schedule is unnecessary; our members cannot ethically accept a commission at a lower fee.

The Committee is also disturbed by a procedure, which your documents establish, which divorces the architect from a direct, creative relationship with his client; it is convinced that qualified practitioners will not undertake a project for which major decisions of engineering and building construction have been predetermined.

The Committee requests that you reconsider your procedures for selecting architectural services and for establishing a professional relationship between the architect and his client.

The Institute STANDARDS OF PROFESSIONAL PRACTICE, under MANDATORY STANDARDS states "3. An Architect shall not knowingly compete with another Architect on a basis of professional charges—." Nevertheless, it has been reported that for one of the hospitals in question, proposals were received from approximately eight firms—that the highest was in accordance with the MSA Schedule of Recommended Minimum Fees—and that the others ranged downward in ever increasing amounts.

A second example of the activity of the "consultant" which has been noted by the MSA Board and other groups is the service being offered by Arthur Read, Holland, Michigan, who presents himself to the public as a professional "Building Consultant" in the dual capacity of employment by both the Owner and Architect on the same project.

Where Mr. Read has been hired as a Building Consultant by the Owner to "assist and represent the Board and the Architect in all phases of the Building Program," his responsibilities have been delineated in one specific instance as follows:

"A. He shall prepare for the Board all necessary data on school and district population to assist the Board in deciding on facilities requirements.

B. He shall collect all drawings of the existing school site and building, and shall make adequate sketches and photographs of such sites and facilities for which no original drawings are obtainable. These items shall be for the use of the Board and the Board's architect.

Note: The Building Consultant shall have the direction and assistance of the Architect's mechanical engineers in preparation of required mechanical and electrical data.

C. He shall prepare any required brochures or other publications deemed necessary by the Board in connection with the proposed building program.

D. He and the Architect shall prepare cost estimates of any new facilities.

E. He shall assist the architect in the determination of construction methods, selection of materials, and the preliminary specification outline.

F. He shall obtain any local standards and code information required by the Architect.

G. He shall prepare a clear draft of the architectural specifications, not including heating, ventilating, plumbing and electrical specifications, for approval and duplication by the Architect.

H. He shall assist the Architect in final checking of all plans and specifications.

I. He shall be responsible to the Board and Architect for the issuance of Contract Documents to such public centers as Builders and Traders, Dodge, etc., and shall prepare and insert such advertising for bids as directed by the Board and Architect.

J. He shall issue plans and specifications to such interested contractors as the Board decides.

K. He shall assist the Architect in the preparation of contracts.

L. He shall represent the Architect, as his employee, in the items of payments to all contractors and vendors.

M. He shall represent the Architect, as his employee, in supervision of all phases of construction, including mechani-

cal and electrical, and shall be responsible to the Architect by submission of all reports, inspections, and other allied items as may be required, including inspections and other allied items as may be required, including assistance in the scheduling of shop drawings. He shall also be responsible to the Board for the proper coordination of contracts and work and the expediting of all phases of the construction program.

N. He shall prepare a color schedule for the approval of the Board and the Architect.

He shall act in a representative and liaison capacity between Owner and Architect at all times, thus eliminating many direct conferences normally required by these two parties.

The Architect, in recognition of these services, agreed to credit the owner in the following manner:

(A) For preliminary studies, 1/3 of a sum equal to 25% of the basic rate.

(B) For plans and specifications, 2/9 of a sum equal to 75% of the total fee, less the 1/3 of the 25% already provided.

(C) For supervision, 1/3 of 25% of the fee."

It is understood that in several instances, Mr. Read has secured employment by the Owner prior to the commissioning of an Architect and that he has been instrumental in the actual selection of the Architect—in which cases, the firms being considered have been approached on the basis of accepting the terms dictated by Mr. Read, such as those quoted above, as a condition to being employed for the work.

On other projects, Mr. Read has attempted to sell his services to Owners after an Architect has been retained and has been successful, on occasion, even though the development of working drawings and specifications is well under way.

The operations of the "Consultants" described above are not designed to eliminate you—the Architect—completely, as is the case of the "package dealer." However, they are an attempt to amputate part of your professional function and effectiveness. Cooperation with operators of this nature can only endanger the status of the profession and eventually place the architect in the position of being a sub-contractor at the discretion of an entrepreneur.

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Supreme Court denies leave to appeal

At a session of the Supreme Court of the State of Michigan held in the Supreme Court Room in the Capitol in Lansing on the 2nd of October, 1962, the application filed by Talmage C. Hughes for leave to appeal from an order of the Wayne Circuit Court was denied. Present at this session were the Honorable Leland W. Carr, Chief Justice, and Associate Justices John R. Dethmers, Harry F. Kelly, Eugene F. Black, Thomas M. Kavanagh, Theodore Souris, Otis M. Smith and Paul L. Adams.

As a result of this denial, the temporary injunction issued by the Hon. John M. Wise, Wayne County Circuit Judge, on July 31, 1962, remains in effect. This temporary injunction states:

"It is hereby ordered, adjudged and decreed that in the meantime and during the pendency of this cross-suit, the plaintiff and cross-defendant, Talmage C. Hughes, be, and hereby is, enjoined from:

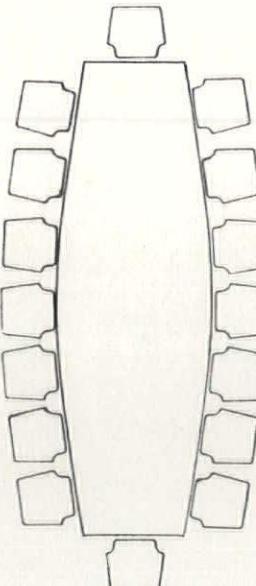
- (a) Continuing to state, write or circularize to the effect that the "Michigan National Architect" is the continuing publication or successor publication of the "Monthly Bulletin, Michigan Society of Architects" or that the "Michigan National Architect" is a continuing publication or successor publication of "Monthly Bulletin, Michigan Society of Architects," only the name having been changed;
- (b) Continuing to state, publish, advertise, circularize or mail, or cause to be mailed, any printed matter setting forth that the "Michigan National Architect" is the successor publication to the "Monthly Bulletin, Michigan Society of Architects," or that the "Michigan National Architect" was "formerly Monthly Bulletin, Michigan Society of Architects."
- (c) 1. Claiming to be the official publication of the American Institute of Architects (AIA) and any of its chapters in Michigan.
2. Asserting his publication is the official publication of the Builders and Traders Exchange of Detroit, Lansing or Grand Rapids.
3. Asserting his publication is the official publication of the Michigan Society of Architects.
4. Asserting his publication is a member of the Publisher's Architectural Components.
5. Circulating a publication of a format calculated to deceive readers and advertisers that the publication is a continuing publication of the "Monthly Bul-

letin," "or holding forth that his publication is successor to or in any way connected with "Monthly Bulletin," or from continuing to use a volume and book numbering system based on the numbering heretofore used in "Monthly Bulletin." (Nothing herein shall prevent cross-defendant from stating in his masthead that he was the founder of "Monthly Bulletin.")"

The taking of depositions from witnesses Charles M. McMahon and James B. Hughes, scheduled for October 18th and 19th was indefinitely adjourned at the request of Talmage C. Hughes' attorney. No further hearings in this case have been set at this time.

CONTRACT FURNITURE

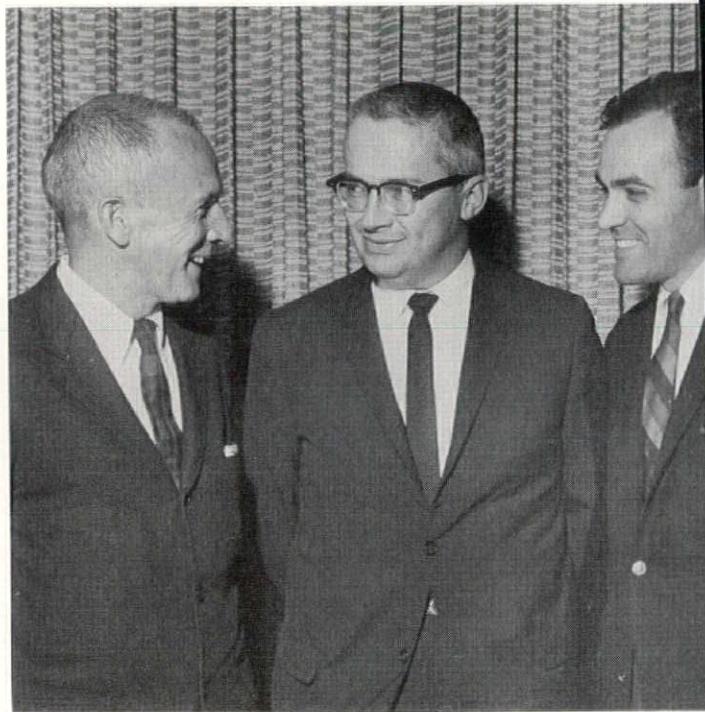
PHONE - TUXEDO 6-0730 SHOWROOM - 19664 HARPER GROSSE POINTE 36, MICHIGAN



CONSULTANTS TO THE PROFESSION



President-elect Philip J. Meathe, center, heads the slate of new officers named at the October 17th annual meeting. Assisting him in chapter management will be (from left): Arthur O. Moran, Jr., secretary; William R. Jarratt, treasurer; Frederick G. Stickel, chapter director, and Sol King, vice-president.



MSA board members—Walter B. Sanders, Bruce Smith and John V. Sheoris.

Detroit Chapter Annual Meeting



A detailed report on the activities of the Civic Design Committee was delivered by John Haro, chairman of committee.

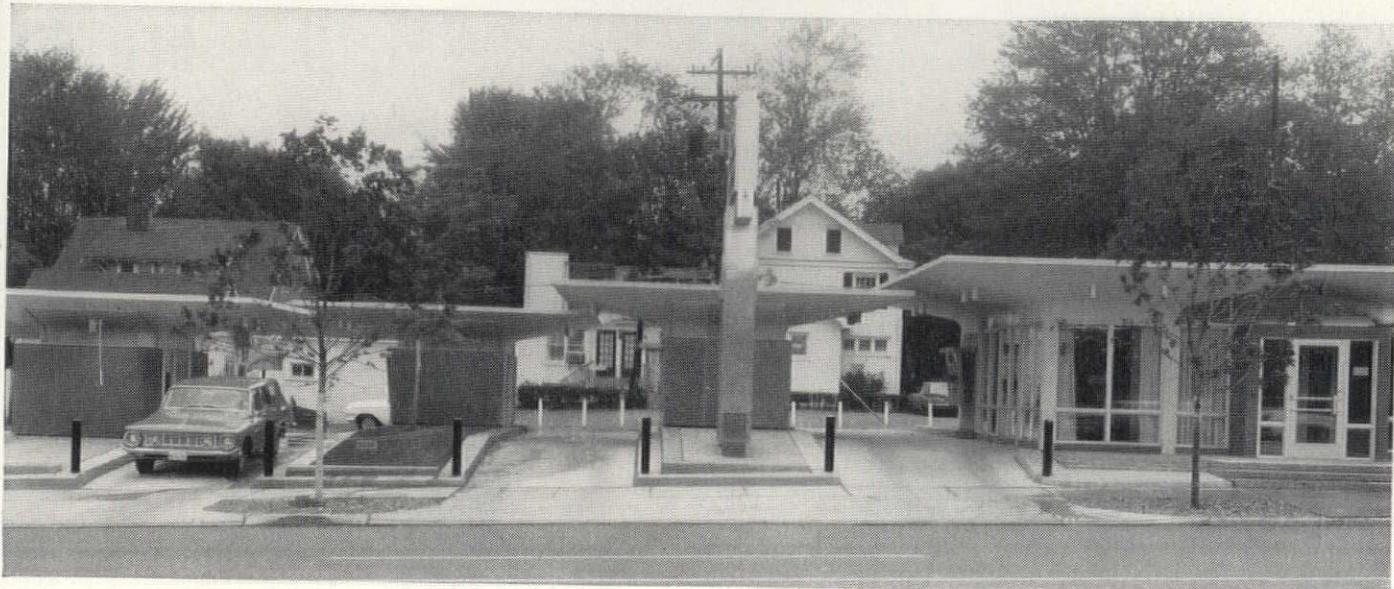


The Chapter's Gold Medal for 1962, honoring outstanding services to the chapter and major contributions in the field of building construction research, was presented by President Paul B. Brown to John C. Thornton.



Acting as tellers were LaVern J. Nelsen, Gerald G. Diehl, and Leo Perry.

A drive-in bank with



one

two

three

four

heating problems!

Detroit Bank and Trust Company's new "Motor Bank" branch in Birmingham is really four units in one—a banking office and three smaller tellers' islands.

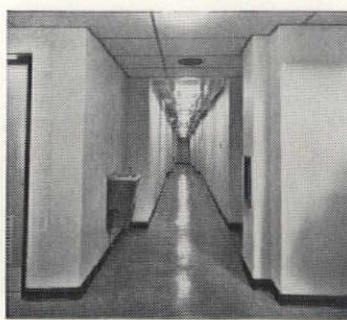
This new island concept of drive-in banking was introduced to speed automobile traffic and service. It also created a problem: how to economically heat and cool these separated units? An all-electric heating system was the answer. Air pass-

ing through the bank's air-conditioning ducts is warmed by electric heating elements. In the tellers' islands, electric baseboard units and infrared heaters were installed as supplemental heating units.

Like to know more about electric heat—its advantages and savings? In Detroit just call WO 2-2100, ext. 2223. Outstate, call your nearest Edison office.



Banking office service desk features a built-in adding machine for customer use.



An underground passageway leads from the banking office to the tellers' islands.



Electric baseboard is teamed with infrared heater in each teller's island.

Detroit Edison

Detroit Awards

by Jay S. Pettitt

During the past year it has been my privilege to serve on a special President's committee chaired by Phil Meathe—a committee whose express purpose was to explore ways and means by which we might strengthen and further the unification of our Chapter.

One of the items that was given considerable study was that of our Chapter "Awards Program" with the intent that it be reactivated and made one of the more important tools of the Detroit Chapter in the Chapter's constant attempt to promote the profession of Architecture.

This committee's recommendations were received favorably by our board—consequently a continuing group has been formed into the Annual Awards Committee—briefly, the following is the program that this committee will implement:

Purpose of the Award Program:

The Annual Awards Program will have as its prime purpose, the intent of making the public aware of the outstanding architecture developed by the architectural profession in their community; be this architecture local, national or international. Those who are responsible for the development of this outstanding architecture will be recipients of awards to signify the respect their professional colleagues pay to them for the service they have rendered to their profession.

Requirements for Submission:

All corporate members in good standing of the Detroit Chapter are eligible to submit as many entries as they desire for any project they have completed or substantially completed within the last three years prior to the final day of entry of the calendar year of the Awards Program.

Jury and Its Selection

In order for an Awards Program to truly be successful the jury must be selected of eminently qualified individuals no matter where they be located within this country.

Each year the Awards Committee will select a principal city within the United States which would be the location from which the jury members would be selected. The selection of this city will be changed each year by the Awards Committee.

In order to select those most qualified, it is proposed that each year an editor of a leading architectural magazine be assigned the task of selecting five outstanding architects living in the design-

nated city who he feels would be best qualified to act as jurors. The Editor's selection would then be forwarded to the Awards Committee who, in turn, would select three jurors from the Editor's list.

After the juror's have been established and the committee has received their concurrence that they will act as jurors, a member of the Awards Committee would make arrangements to hold a meeting in the designated city and would arrange to bring all entries to the city for judging by the jurors. Upon completion of the judging the jurors would be requested to mail to the Awards Committee their comments on all winning entries. These comments, in turn, would be read to all chapter members at the Annual Awards Program.

Awards:

The Awards will follow the same format which has been used by the American Institute of Architects for the Annual Awards Program. The buildings will not be classified into any categories nor will it be mandatory that a specific number or a specific type of award should be given during any calendar year. It will be solely the responsibility of the jury to determine the number of awards and their classifications. The award itself will be in the form of a plaque of outstanding design. A companion award will be developed to be given to the Owner or the Owner's representative for a project which has been selected by the jury.

Awards Meeting:

The Annual Awards Meeting will be held in conjunction with the meeting for the selection of chapter officers.

The President of the Chapter will preside at this meeting and will handle the distribution of the awards among the winning participants. While giving the awards to the participants, the President, in turn, would read the comments of the jurors relative to the participants' entries.

Display of Winning Entries:

The Awards Program itself should not be the culmination of the efforts of the Awards Committee. The projects receiving awards will be publicized throughout the city and throughout the country if possible, acting as the ambassadors of our chapter and showing the professional efforts made by our members to create architecture which will further advance the civilization of man.

M. Den Braven

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Civic Design Committee

Report to Detroit Chapter

by John Haro

Mr. President, Members of the Detroit Chapter, Ladies and Gentlemen:

A few weeks ago, our President, Paul Brown, asked me to give a report of the activities of the Civic Design Committee at the annual meeting of the Detroit Chapter. Subsequently, our newly designed monthly Bulletin carried a notice to that effect, saying that this report would be featured, and that it would be the only one made.

I am still in a state of shock with the realization that what I had considered to be a matter-of-fact report is now being offered to you as the evening's entertainment! I trust, however, that you will find some diversion in what I have to offer at this most important Election Meeting.

The Civic Design Committee this year consists of 21 members; J. Robert Swanson, Malcolm Stirton, Eberle Smith, John Sheoris, Louis Rossetti, Louis Redstone, Suren Pilafian, Art Moran, Al Leone, Bruno Leon, Harry King, William Kessler, John Jickling, Mark Jaroszewicz, John Haro, Norbert Gorvic, Clair Ditchy, Gerald Crane, Sigmund Blum, Gunnar Birkerts and Harold Binder, named, for the sake of diversion, in reverse alphabetical order. By usual standards, this is a rather large committee. The membership was purposely increased this year to enable us to form sub-committees to give attention to the detailed problems within the scope of the Committee's responsibilities, and, I might add, to assure us of reasonably substantial attendance at our meetings which could not always be conveniently scheduled to accommodate everyone. Notwithstanding, attendance at our rather numerous meetings has been phenomenal. The enthusiasm and interest shown by the members in their participation in the affairs of this committee is most commendable. Their dedication to principle and their searching criticism has provided me with sustenance and inspiration.

The duties of this committee, as set forth in our Chapter By-Laws, state that "It shall be the duty of the com-

mittee to *Foster and Encourage* better city and regional planning, site planning and low priced housing; to formulate plans for beautifying the communities and roadsides within the territory of this Chapter, and to cooperate with the public and other agencies having such matters in charge."

Within the context of a broad interpretation of this by-law, it will be evident, that despite our efforts in the last year, we have only scratched the surface. All that is implicit in the application of ourselves to such a challenge seems an insurmountable, yet urgently necessary task.

During the first few meetings of this committee, we were very much concerned with the range and nature of our activities, and although no definitive policy was established, it was rather tacitly understood by everyone that, as a practical necessity, our initial efforts would have to be rather local in scope and concerned primarily with the problems of urban development within the City of Detroit. To this end, a sub-committee headed by Bill Kessler and Harold Binder developed a "Statement of Principle" to be endorsed by the board and to be brought, eventually, to the incoming Mayor's attention. Such a statement was submitted by this committee and duly endorsed by the board.

Concurrently, a recommendation to the City Planning Commission was also made with regard to the redevelopment of Elmwood Park. Without a lengthy discussion of this project, I will briefly describe it and recall some of the recommendations that were made.

Elmwood Park is a 124 acre section of a 400 acre urban renewal project, east of Lafayette Park between Jefferson and Gratiot. The proposal being considered at the time was to divide the land, after clearance, into individual lots which would be sold piecemeal to developers or owners for the construction of medium-priced, single family houses. Our committee, along with the City Planning Commission Staff, took

exception to this proposal on the following counts:

1. It would result in a density of 6 families per acre rather than 20, which is the recommended number for such an urban area. This would not only reduce further an already dwindling urban population, but would probably also lower the tax base of the area.
2. It would aggravate the problem of finding replacement homes for the families displaced.
3. Piecemeal, unplanned development could easily result in a chaotic imitation of our sprawling suburbs.

The recommendation of the committee was, in the main, that an architect-planner be retained to develop a scheme on which to base a master plan and also to stimulate, by various means, the enthusiasm of potential developers and the interest of the general public in this area as a well-planned community. A competition was also suggested, but subsequent deliberation led to the conclusion that this would not bring the desired results, simply because there were insufficient funds to promote a competition of significant magnitude to encourage the competitor to undertake the task of conducting the necessary independent research with but a remote chance of securing the commission. It is now our understanding that serious consideration by the Planning Commission and the Housing Commission is being given to securing the services of an architect-planner to formulate a master plan for the area.

During the past year the committee was asked by the City Planning Commission to review a number of projects proposed by various city agencies to be executed by the Department of Public Works. All together, there were about a dozen of these, submitted at various times. The most notable, perhaps, was a Recreational Facilities Building for Balduck Park proposed by the Department of Parks and Recreation. After a disappointing review of the proposal and in an effort to stimulate a more creative approach to the problem, a sub-committee undertook to prepare a preliminary design of this facility.

The resulting proposal was received with enthusiasm, and we understand that it is being used as a prototype for other such projects. Unfortunately, we

are not informed of the modifications which have taken place in the meantime; the Department of Public Works has its own architectural department and we must be content merely to have indicated a direction and cannot assume responsibility for the final design.

I am sure many of you are familiar with the activities of this committee with regard to the recent proposed Teachers' Cooperative Apartment Project for Lafayette Park. This project, consisting of 60 apartments was brought to the attention of the committee at a time when commitments had already been made on many of the apartments based on a plan and exterior in the Colonial Idiom, and the developer was especially anxious to buy the land and proceed with the work. It was the conviction of the developer that the Colonial style was the only one which his clients would accept, and he therefore was disinclined to investigate any other design which would be more compatible with the Mies apartments in the immediate neighborhood. The design was, however, judged to be especially inappropriate to its surroundings by the Civic Design Committee. Considerable support was given to the committee by a neighborhood association and the developers of adjoining projects. After a number of meetings with the City Planning Commission, the Housing Commission, the Developers and the Architect, the deadline for the purchase of the land was extended sufficiently to permit the architect and members of two sub-committees to work together to seek a mutually acceptable solution. I wish to state here that the Project Architect's untiring cooperation and willingness to work extra time to reach a solution was most commendable. It was this spirit of cooperation which was largely instrumental in arriving at a design which was ultimately endorsed by the committee, and enthusiastically received by the builder-developer, the teachers, and the community.

Throughout the past year we have been involved at various times with proposals for the surface treatment of the Old City Hall Site. Our experiences have not been as devoid of complicity or as simply resolved as have been most of the projects submitted to us. The various controversies regarding it go back a number of years; however, we can consider it an accomplished fact, that the old City Hall *has* been torn down, and with it have gone many of the sentiments and attachments of those who would have preferred that it remain. A committee, headed by Mr.

Max Osnos, was established by the previous City Administration to study and recommend appropriate treatment of the surface of the Old City Hall Site which was slated to become an underground parking structure. Johnson, Johnson and Roy, Landscape Architects and Site Planners of Ann Arbor were retained by the Osnos Committee to develop a scheme for the surface treatment. Their proposal was duly accepted and endorsed by the Central Business District Association and by the Civic Design Committee. The same scheme was approved by the City Planning Commission. Shortly thereafter, a second scheme prepared by the Department of Parks and Recreation was introduced. It did not receive the endorsement of the Civic Design Committee chiefly because it lacked the urban quality to be essential to a location such as this and because it bore little if any architectural relationship to the existing or proposed surrounding buildings.

Very recently, a *third* scheme was introduced, as a public service, by an architect who believed that the Johnson, Johnson and Roy scheme was lacking in certain respects. This third scheme consisted essentially of a landscaped park with a circular plaza and an imposing Mayor's Reception Building over the entrance to the parking garage below. In light of his suggestion for a Mayor's Reception Center, which, in itself, was felt to have merit, the Central Business District Association arranged to have Johnson, Johnson and Roy extend their scheme accordingly, along with some other minor changes. A more modest reception center was proposed by Johnson, Johnson and Roy. The Civic Design Committee again reviewed, at the request of the City Planning Commission, the amended Johnson, Johnson and Roy scheme and again unanimously reaffirmed its previous endorsement. At no time was the Civic Design Committee requested to review or take action on the third scheme.

It was to the committee's great disappointment that it later learned that the City Planning Commission's initial approval of the Johnson, Johnson and Roy scheme had been rescinded, and that the third scheme had been unanimously approved. This approval was made against the advice of the commission's own staff and the recommendations of this committee.

Since this unfortunate occurrence, vigorous letters have been sent by the Presidents of both the Detroit Chapter and the Michigan Society of Architects urging the impartial review of

all three schemes by the committee, and further urging the enforcement, by the City Administration, of procedures which will encourage high civic achievement. Individual requests by Chapter Members have also been made to the Mayor requesting reconsideration. As a result, action by the Common Council has been postponed, and we are hopeful that this matter may still be satisfactorily resolved.

It is obvious, from the report I have made, that better relations between the present City Administration and our profession are sorely needed. Effective procedures, if adhered to, can circumvent many problems; but if the lines of communication between our profession and the City Administration are not open, then the best procedures are of little value. This is especially true if the initiative for requesting our counsel lies with the City Planning Commission. I am convinced that only limited effectiveness can be achieved by committees such as this one if they are to be without influence, detached from public controversy and disinclined toward direct and forthright criticism. I submit that our effectiveness can be increased and supplemented by direct participation in community affairs as an organized group, and, more importantly, as interested individuals assuming a more active role of leadership in community affairs.

I would like to quote from a speech which past National President Philip Will, made at a meeting of the mid-Michigan Chapter in January, 1961:

. . . "We have a duty, not only to speak up on matters of planning and urban design, but to actively participate in the planning process itself.

Yes, this is bound to involve us in politics.

It is silly for any citizen to classify politics as a dirty word and to elevate apathy to virtue. For architects it is more than silly, it is cowardly.

Politics and economics are the primary prerequisites for achieving orderly community growth, and if orderly community growth is our business, so is politics.

Nor should we consider politics a mere spectator sport. The political arena needs us—not only on planning, zoning, education and other municipal boards, commissions and agencies, but also as political delegates, councilmen, legislators and

participants at all levels of government . . .

We may not have the votes to put our spokesmen and viewpoints across; but ours is a respected voice. Let us raise it for the public welfare. . . ."

This is indeed a bold challenge, and we should strive to meet it.

In closing, I would like to thank all my fellow committee members for their enthusiasm and their confidence, and the Chapter Board for its direction, counsel and support.

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FLINT AREA CHAPTER ELECTIONS

Herman J. Klein, AIA, has announced that the annual meeting and election of officers of the Flint Area Chapter will be held on November 7, 1962.



Robert S. Gazall

Nominees proposed by the Chapter's Nominating Committee are as follows:

President:

Robert S. Gazall
Partner in the firm of MacKenzie, Knuth & Klein. Served as Secretary and Treasurer of the Saginaw Valley Chapter and as Secretary of Flint Area Chapter; currently Vice-President.

Vice-President:

Gerald E. Harburn
Partner in the firm of Gibbs, Toblinson & Harburn. Served as Treasurer of Flint Area Chapter; now Secretary.

Robert G. Mengel
Partner in the firm of MacKenzie, Knuth & Klein. Former Director of Chapter.

Secretary:

J. Lauran Kretchmar
In individual practice.

T. Neel Eubank
In individual practice.

Treasurer:

Wessyl A. McKinley
Associate in the firm of Nurmi, Nelson & Associates.

Dale A. Suomela
Associate with the firm of MacKenzie, Knuth & Klein.

NEWS

Chapter Director—three year term:
Ralph W. Knuth
President—MacKenzie, Knuth & Klein.

Deane M. Truesdell
Partner in the firm of Ellis, Arndt & Truesdell.

James E. Tomblinson will continue as a Chapter Director and Director of MSA and MAF for one year; Clifford E. Gibbs as a Chapter Director for two years.

DETROIT PARTY SET FOR DECEMBER 1

The Detroit Chapter of Producers' Council Inc., has announced plans for this year's Christmas party, a joint venture of the Detroit AIA Chapter and Producers' Council. Date of the party, earlier than in previous years, has been set for Saturday, December 1, at Western Golf and Country Club, 14600 Kinloch, Redford, near the Five Mile and Beech Road intersection. Festivities will begin at 7 with cocktails. Dress is to be semi-formal.

Because of the early date, architects and producers are urged to make plans now to attend. Early purchase of tickets is urged. Arrangements for tickets and ticket information may be made by contacting members of the Women's Architectural League of Detroit or Producers' Council.

DETROIT CHAPTER TO MEET WITH I.E.S.

Members of the Detroit Chapter, A.I.A., will join with the Illuminating Engineering Society for a dinner meeting on November 15th. Coordinating arrangements are Ernest J. Dellar, AIA, and Frank E. North, IES and Associate Member, Detroit Chapter.

Dinner, scheduled for 7:00 PM, will be served in the new Banquet-Ballroom addition to the Grosse Pointe War Memorial Association's Alger House at 32 Lake Shore Road. The program will follow in the same room. This meeting will be one of the first to be held in the addition to Alger House, which according to Architects Harley, Ellington, Cowin and Stirton will be completed about November 1st.

Speaker for the evening will be Robert Dorsey, Director of Lighting Application at General Electric's Lighting Institute, Nela Park. Mr. Dorsey's subject is "Variations on a Theme."

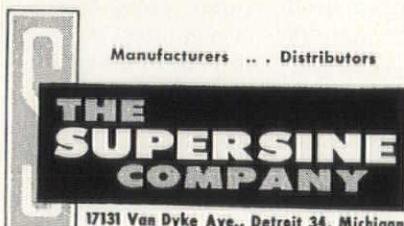
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NEWS

Architect Denis C. Schmiedeke, AIA, member of the firm of Schmiedeke & Storrer, Architects, of Dearborn, has been awarded the 1962 Arnold W. Brunner Scholarship, by the New York Chapter of the American Institute of Architects.

The \$5,000 research grant is awarded each year to a candidate of an advanced professional background, for extended study in a field of architectural investigation which could most efficiently contribute to the practice, teaching, or knowledge of the art and science of architecture.



Mr. Schmiedeke will use the grant to do research in advanced media of visual communication and photo-mechanical production processes to implement and facilitate architectural planning and design, the preparation of correlated construction documents, and the processes of construction.

GRAND VALLEY CHAPTER FORMING

Grand Rapids members of A.I.A. have initiated steps for the formation of a new A.I.A. Chapter to be known as the Grand Valley Chapter. Originally intended to encompass Kent, Muskegon, Ottawa, Montcalm and Ionia Counties, the area has now been expanded to include Mason, Lake, Oceola, Oceana, Newaygo and Mecosta Counties.

At its Annual Meeting on October 15th, the Executive Committee of the Western Michigan Chapter agreed to release the eleven Counties for the formation of the new Chapter.

Application for a Charter has been forwarded to the Institute and it is hoped that approval will be granted by the Board at its November meeting and that the Charter for the Grand Valley Chapter will be effective January 1, 1963.

WESTERN MICHIGAN ELECTS OFFICERS

At its Annual Meeting in Grand Rapids on Monday, October 15th, the Western Michigan Chapter, A.I.A., re-elected President Robert C. Smith and Vice-President Robert L. Wold. Donald W. Stearns was elected Secretary and Richard A. Vanderploeg was named Treasurer. Continuing as Directors of the Chapter are Bernard J. DeVries, George W. Sprau and George

N. Williams. New Chapter Director is John Vander Meiden.

Sprau and Wold will continue to serve as the Western Michigan representatives on the Boards of the Michigan Society of Architects and the Michigan Architectural Foundation.

FIRM ASSUMES FORMER NAME

Jahr-Anderson-Machida Associates announce the resumption of the former firm name, Jahr-Anderson Associates, Architects and Engineers, 15011 Michigan Ave., Dearborn, Michigan.

TOPPING OUT OF DETROIT BANK & TRUST BUILDING

Completion of the structural steel for the new Detroit Bank & Trust building was marked at a Topping Out ceremony held on the building site.

Climaxing the traditional program was the raising of a 15-star, 15-stripe American flag on the last piece of vertical structural steel for the skyscraper. The flag was presumably a replica of the first American flag flown over Fort Lernoult which stood on the site of the building in the late 18th and early 19th centuries.

The flag was flown on a staff attached to a steel column. The column and flag were then raised almost 400 feet from the ground to the top floor of the building where they were emplaced on the Washington Boulevard—Fort Street corner of the superstructure.

Earlier, the 30-foot steel column was autographed by Albert K. Jacoby, coordinator of the Mayor's Committee for Industrial and Commercial Development, who represented Mayor Jerome P. Cavanagh; V. J. Peters, representing the builder-owner; Raymond T. Perring, president of the bank; R. C. Palmer, president of The R. C. Mahon Co., steel fabricators for the building; Malcolm Stirton, vice president of Harley, Ellington, Cowin & Stirton, Inc., architects and engineers for the building; Henry Cooper, business agent for Iron Workers Local No. 25 and George Stark, city historian.

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U OF D APPOINTS JERZY STANISZKIS

Appointment of Jerzy Staniszakis as associate professor has been announced by Bruno Leon, chairman of the Department of Architecture at the University of Detroit.

Prof. Staniszakis, an architect and painter who received his training in Poland at the Warsaw Polytechnic Institute, has won many competitions in architecture, planning and the graphic arts. He held the chair of Plastic Arts for ten years at the Higher School for Plastic Arts in Poznan, Poland. At the time of his U-D appointment he was completing planning projects in Beirut, Lebanon. His new responsibilities are principally in the areas of architectural design and visual communication.



Philip A. Nicholas

COMMITTEE NAMED FOR MSA CONVENTION

Backbone of all convention effort for the Michigan Society of Architects, committee work is underway for the 1963 meeting scheduled for March 6 through 8 in Detroit. Committee assignments have been determined by Philip A. Nicholas, general chairman for the convention.

Serving as vice chairman is Richard K. Albyn. In charge of registration is Richard Adair; general design, Hideo H. Fujii; producers' exhibits, Werner Guenther; publicity, Robert J. Domke; architectural exhibits, Richard H. May; Draftsmen's competition, Samuel D. Popkin; arrangements, James B. Hughes; and Ladies activities, Mrs. Frederick J. Schoettley.

Highlighting the opening day will be the MSA Groundbreaker, set for 8 p.m. in the grand ballroom of the Sheraton-Cadillac Hotel. A Major event on the following day is the Annual Awards Dinner, including award of draftsman's competition prizes and the citation for producers exhibit. Closing the convention program will be the MSA Carbaret with its award of an all-expense trip for two to Bermuda.

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NEW ARCHITECTURAL FIRM

Glen Paulsen, William Gardner and Thomas Lucas announce the formation of Paulsen, Gardner and Associates, Architects.

This firm is an outgrowth of a past association since each of the principals has simultaneously held positions of major responsibility in the firm of the late Eero Saarinen.

Mr. Paulsen was associate and chief designer for Concordia College and the United States Embassy in London. Since 1958 he has had his own practice in Bloomfield Hills and is now Professor of Architecture at the University of Michigan.

Mr. Gardner was associate and project architect for the T.W.A. Unit Terminal Building at New York International Airport and for the Dulles International Airport in Washington, D.C.

Mr. Lucas has worked with the offices of O'Dell, Hewlett and Luckenbach; Smith, Hinchman and Grylls; and was senior architect for the development of Concordia Senior College.

Their present work includes the Wingspread Conference Center for the Johnson Foundation in Racine, the new College of Pharmacy at Wayne State University, and major educational facilities for Christ Church Lutheran in Minneapolis.

Offices of the firm are located at 1565 North Woodward Avenue in Bloomfield Hills, Michigan.

NEW ASSOCIATE MEMBERS

Associateship in the Detroit Chapter of The American Institute of Architects has been granted to Ronald LeRoy Miller of Birmingham and Donald Earl Ward of Pontiac.

Mr. Ward, a 1953 graduate of the University of Michigan with a B.Arch. degree, is chief draftsman for Ray F. Ward Architect, Detroit. He was proposed by William R. Hofer and Ray F. Ward, AIA.

Mr. Miller, a 1959 graduate of Western Michigan University with a B.S. degree, is a draftsman for Smith & Smith, Associates, Royal Oak. An AIA Associate in St. Louis, he held draftsman positions there with Smith & Entzeroth, Architects; Earl A. Fey, AIA, Architect; and Chapman & Young, Inc.

He was proposed by Bruce H. Smith and Edward W. Gabert.

OEMING JOINS WICKES CORPORATION

David F. Oeming, Flint Area member, has joined the Wickes Corporation, Saginaw, as corporation architect. He

was formerly with Oeming & Waters Architects in Saginaw. C. L. Waters is carrying on the practice under his own name, and Arthur Nelson continues as associate architect.

MSA SETS COMMITTEE WORKSHOP

In order to effect a more active, working relationship between MSA Committees and the Board, President Charles H. MacMahon has scheduled a combination Committee Workshop—Board Meeting for Saturday, November 17, 1962. This will be an all-day session, and will be held in Lansing.

Committees will meet from 9:30 till Noon. The Board Meetings will start at 1:30 and each Committee Chairman will report orally and in writing to the Board on the activities of his committee. The meeting will adjourn at 4:30. All Committee members are invited to attend and participate in the Board Meeting.

The Following Committees are scheduled to meet:

ADMINISTRATIVE STUDY

CHAPTER AFFAIRS

PUBLIC RELATIONS

OFFICE PRACTICE

LEGISLATIVE

MEMBERSHIP

**RELATIONS WITH CONSTR.
INDUSTRY**

HOSPITAL & HEALTH

SCHOOLS & EDUC. FACILITIES

EDUCATION

URBAN AFFAIRS

MSA BULLETIN

Each Chairman will advise the members of his Committee of this meeting, prepare and circulate his agenda in advance so that effective expeditious action may be taken. If any Chairman is unable to attend, he will appoint a substitute to act in his stead.

The Committee Workshop—Board Meeting method of Committee function has been used for some time by the Architects Society of Ohio and has been found to be very effective. The MSA meeting in Lansing will be an experimental session and may be continued on a regular two- or three-times-a-year basis.

This meeting will replace that of the MSA Board previously scheduled for Monday, November 12. All members of MSA are invited to attend and observe The Workshop and Board Meeting.

**ASA URGES
EARLY RESERVATIONS**

Officials of the American Association of School Administrators, a department of the National Education Association, are urging school building architects to plan now to attend the group's 1963 convention, slated for February 16-20 at Atlantic City. Hotel reservations can be made now through the Atlantic City Housing Bureau. Shirley Cooper, association secretary of the AASA, states that requests for hotel accommodations should be made on special forms forwarded to architects from the association to insure first claim to space.

**ARCHITECTS ELIGIBLE
FOR SCARAB CLUB**

Detroit's Scarab Club, gathering place for anyone interested in the creative arts, offers artist memberships to such diverse professional people as painters, architects, sculptors, artist-craftsmen, photographers, designers, illustrators, art teachers, musicians, authors, art historians, and museum curators.

Considered one of the landmarks of Detroit, the Scarab Club building at 217 Farnsworth was completed in 1929. The architect was Lancelot Sukert. Paul Honore painted the decoration over the fireplace in the lounge and many members painted individual beams in the room with an interesting variety of subject matter and technique. In addition, there is a club tradition of having famous visitors sign beams in the lounge and the signatures of many well-known artists are preserved there.

The club includes, in addition to the second floor lounge and the large exhibition gallery on the first floor, a life class room in the basement and six large studios in the third floor.

SAGINAW VALLEY

Officers who will lead the Saginaw Valley Chapter during 1963 are: Leslie Dean Tincknell, president; Eugene Carle Starke, vice president; Robert Walter Hammerschmidt, secretary; and William Ora Prine, treasurer.

G.M. BUILDING CLEANED

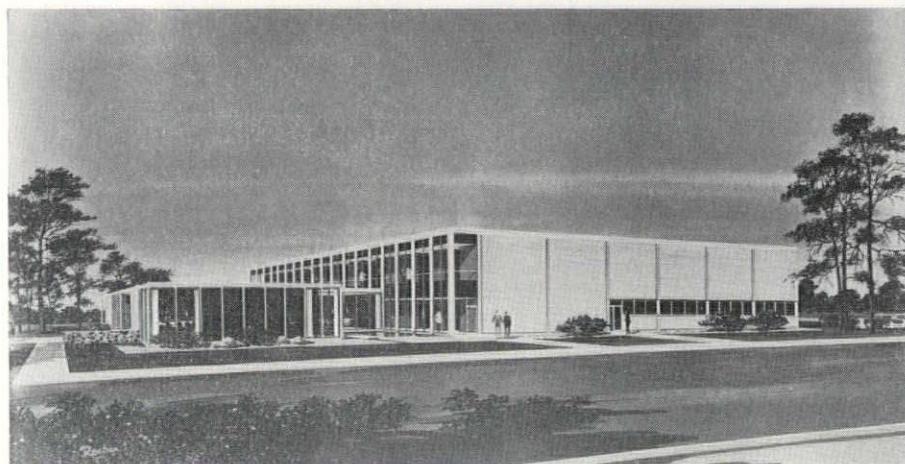
The exterior of the General Motors Building in Detroit was recently cleaned for the first time since it was built, forty-two years ago. With crews working 24 hours per day, this immense project required 3½ months to complete.

It is the largest Bedford Stone building ever cleaned by wet sand blasting. Over 380 tons of silica sand was used in the process.

**DEVELOPMENT BEGUN
IN ST. CLAIR SHORES**

Construction has been started on the new \$20 million Shore Club Apartments and Yacht Harbor at St. Clair

Shores, a suburb of Detroit on Lake St. Clair. Gilmore-Gurvis Company are the builders of the high-rise and low-rise apartment development which will occupy 26 acres on the lakeshore. Plans call for 160 low-rise apartment units to be available for rental late this fall and completion of the entire development by 1964. Harley, Ellington, Cowin and Stirton, Inc., are architects on the project.

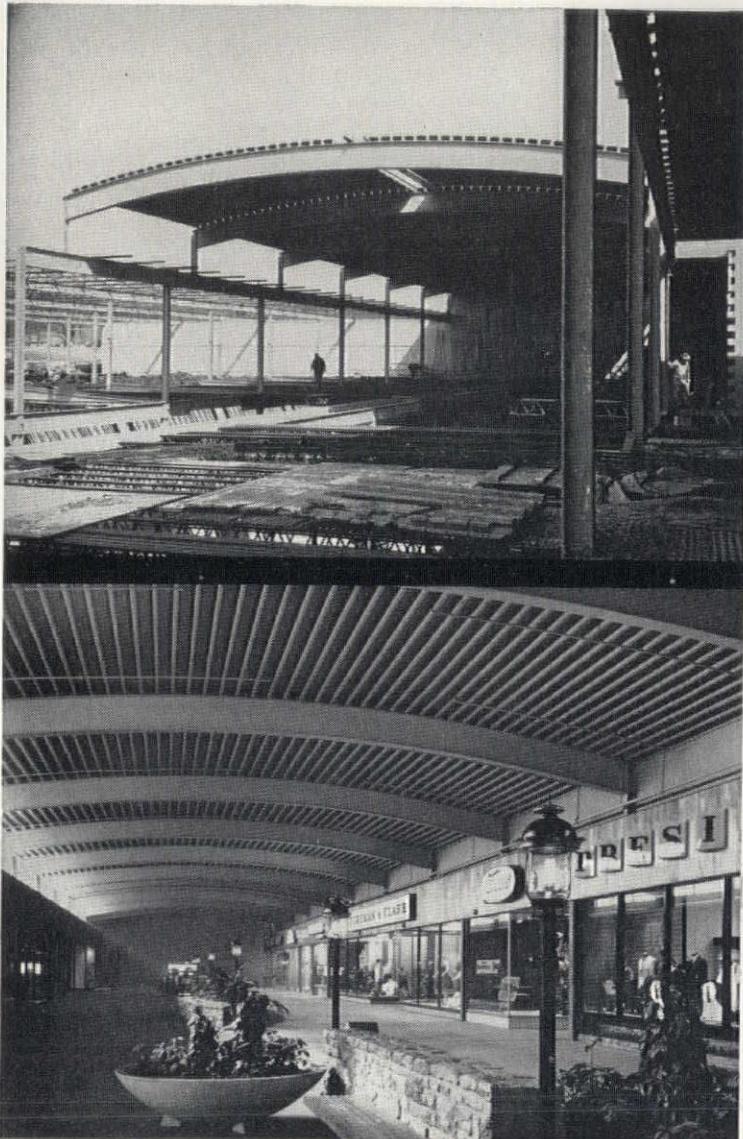


Research in baby foods will be carried on in an expanding fashion at the new Gerber Products Co. research center in Fremont, Mich., scheduled for completion in September, 1963. Administrative offices, a library, several conference rooms, laboratories, laboratory offices and a pilot plant will be located in the main building. An engineering development building and a greenhouse for agricultural research will complete the three-structure center designed by Giffels and Rossetti, Inc.



A combination pole, movable partition and desk unit conceived by IBM, and developed, engineered and fabricated by Detroit Partition Co. has been installed in a recently renovated IBM office in Chicago. Results: comfortable working accommodations for 96 persons where 60 were formerly housed in a tight arrangement—and a decrease in cost to house the 96 persons as compared to that which would have been required to furnish them individual desks, chairs and two drawer files.

MAHON THIN ROOF LINE M-DECK...



a structural component...

a distinctive ceiling

This shopping center covered mall utilizes the 2 in 1 advantage of Mahon M-Deck. The long-span M-Deck sections are fast and easy to install and form a strong structural roof when welded to the supporting beams. From the underside, the pleasing beamed-ceiling effect requires no further treatment other than normal painting.

In addition to the open beam type section (M1OB) shown here, M-Deck is also available in a cellular or closed beam form (M2SR) which gives a flat ceiling effect. The cells can then be used as raceways for wiring, sprinkler systems, light troffers, etc. For more details, see Sweets Files or write for Catalog D-62.



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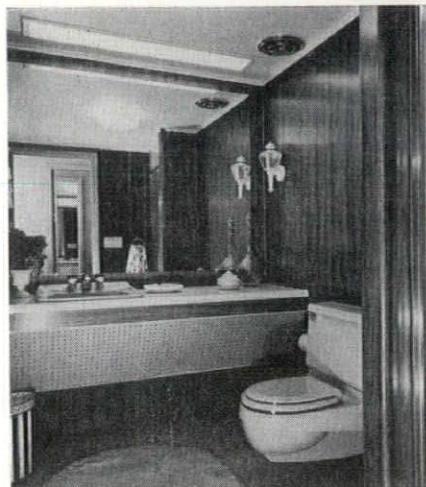


producers council

A good selling point to user is cleaning ease of Micarta panels. A Pittsburgh motel operator installed waterproof Micarta bathwall in 70 units, because he estimated he could cut his maintenance costs by 50 percent. The dry wall panel requires no painting or waxing, can be cleaned with a damp cloth.

Structurally, the vertical panels form a .550-inch thick sandwich, consisting of a core to which is bonded a sheet of decorative Micarta and a backing sheet of the same material. For the standard Micarta wall, the core is processed pulp, which is fire-resistant and treated against termites, fungus, and rot. For waterproof Micarta, the core is polystyrene foam. The standard Micarta panels measure 96 inches high, and are designed for tongue-and-groove jointing on 16-inch centers. Sizes of the waterproof Micarta vary to accommodate customary bath and shower room heights—ranging from 30 x 60 inches to 48 x 96 inches, including allowance for minimum waste and on-the-job cutting during installation.

A radically new wall surfacing mate-



rial is appearing with increasing frequency in homes, institutions, hotels, and motels. Reason: it costs less to maintain, less to install; yet has all the beauty and durability of more expensive installations.

The material is a high-pressure laminate specially produced for vertical surfacing by the Micarta Division of Westinghouse Electric Corporation. It is available in two basic types: a water-



A scale model of American-Saint Gobain's newest facility is examined by Arthur Acker, left, A-SG Division manager; H. Sanborn Brown, AIA, and Bob Howe, vice president, Howe-Martz Glass Co.

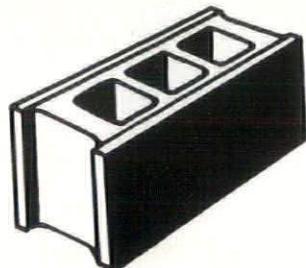
proof micarta for bathroom shower and tub enclosures, and a standard Micarta for dry wall areas.

For the architect, decorator, and builder, the new material offers several advantages. Panels can be fastened directly to furring or studding, thus eliminating much pre-treatment or preparation work. Surfacing for an average tub-shower enclosure, for example, can be installed in about 3½ hours at an estimated total cost of \$1.50 a square foot, compared with \$2.50 for an equivalent amount of ceramic tile. Regular finishing tools will do the job. Micarta standard wall is priced normally at less than \$1.00 a square foot, including installation.

Decorators can choose from ten colors and patterns for bathwall surfacing. They have equally wide latitude of selection of standard Micarta for living room, bedroom, kitchen, den, game room, etc.

The laminate is unaffected by water and is virtually non-absorptive, giving equal stability under normal room conditions, in high humidity, or around steamy showers and bathrooms. It will not craze, chip, crack, or fade. It has good sound-proofing qualities and has been installed in motel bedroom units to muffle noise from nearby highway.

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builders & traders EXCHANGE

of Detroit

AN OPEN LETTER TO OWNERS OF CONSTRUCTION FIRMS

Do carelessness, complacency and ignorance roam your jobs. Are they draining your profits because they allow them free access to your job sites? Do they hold in their greedy fingers dollars picked right off the top of your profit—because you haven't taken the steps necessary to lock them out. Without a vigorous, effective accident prevention program demanded by you, on each of your jobs, these urchins stand ready to fill the gap—and they can cost you plenty. Like any other item of major importance in the operation of your firm, the spark to save these dollars must come from you.

Now this may seem like much-ado-about-nothing, but is it? How many of your bids could have been low in the past twelve months if your labor and insurance costs were 3 to 5 percent lower. Now, if you're going to tell me this is "baloney," I'm going to tell you that you don't know all of your costs! An accident has both a direct and an indirect cost. The direct costs are your medical, compensation and insurance costs. These are the costs you can see and can measure. Indirect costs are less obvious but more expensive.

First, how much can you save on your direct costs. If you pay over \$1,000.00 per year in Workmen's Compensation premium, you are experienced rated based upon your firm's record for the previous three years of operation. Your attention to accident prevention is reflected in your rate. If you choose to

ignore this record, you're going to pay the price. If your experience is bad enough, you may even find insurance companies refusing to take the risk.

There are firms which have, by concentrating on accident prevention, saved themselves thousands of dollars a year in Workmen's Comp premium. We know of one firm, as the result of a concentrated safety effort from top management on down, which pocketed over \$45,000 in a three year policy period. In the first year of their second policy period, an additional \$13,000 was refunded. These refunds represent a 39% reduction in their Workmen's Comp rates, and incidentally, a substantial addition to profit.

But this is but a small part of a much larger contribution to profit made possible by their accident prevention program. For contractors generally, the hidden cost of an accident is estimated at up to twenty times the medical and compensation costs. Not so easily identified are the hidden costs of an accident.

When there's an accident, workmen are emotionally affected, curious, and over-cautious to the point of ruining production, sometimes for a considerable length of time.

There is usually a loss of materials and/or equipment involved in the accident. Material and equipment that is expensive and sometimes difficult to replace. Cost and delays of replacement, plus slow-down of personnel means ruined schedules and substantial expense.



New products of the Philip Carey Mfg. Company were introduced in October to Detroit Area Architects, including this group from Harley, Ellington, Cowin and Stirton, Inc.

builders & traders

EXCHANGE

of Detroit

Accident Prevention Needs Full Cooperation

The Construction Industry is the largest industry in the State of Michigan and the most competitive. Costs are important and the contractor with a good safety record holds a definite competitive advantage. Can you afford to ignore the possibility that carelessness, complacency and ignorance are stealing jobs and money from you?

According to Mr. G. R. Collins, president of the National Constructors Association, a comprehensive and well developed safety program must begin with top management. At a recent meeting of the President's Conference on Occupational Safety, Mr. Collins said, "Management must not only want a safety program, but must also make this fact known to its employees at all levels." The program must be sold to the workers at the start of employment and be enthusiastically and effectively used in the field "on a continuous day-to-day basis."

While accident prevention must originate with and be supported by the top man, the entire organization must be part of the program. In this, your field superintendent is a key man. He is the man on the spot who can make or break the program. Teach him, excite him and most of all, give him something to shoot for. You can appeal to his desire to avoid personal loss; his desire to excel; his desire for leadership; his desire for reward. Keep a safety record on all your field superintendents. Consider a portion of your savings from an accident prevention program as a bonus tied to his record on the job. Sharing the fruit of a successful program can make him an enthusiastic supporter of good practices, clean jobs, and on-time-completion.

Insurance companies want to help you organize effective safety programs and will help you in their administration. The insurance company which writes your Workmen's Comp will furnish trained safety engineers to talk over

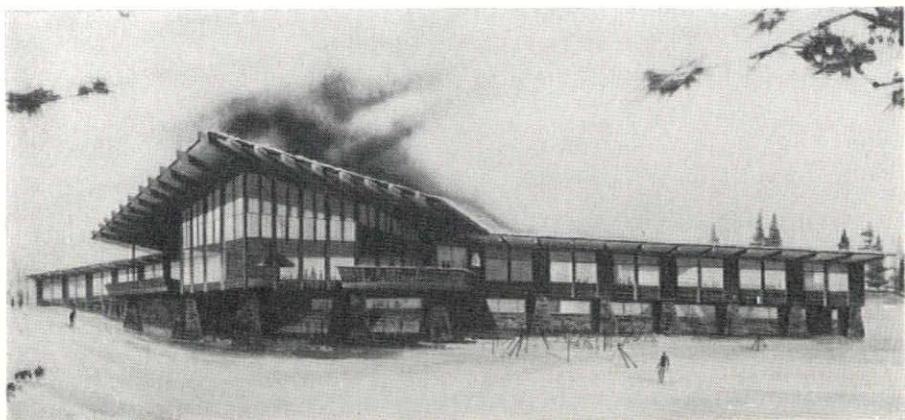
safety problems with you and your field men. They'll help you train your people and point out potential trouble spots on your jobs. Use them.

In addition, the Construction Division of the Michigan Safety Conference offers another source of safety information. The Construction Division is supported by 65 construction trade associations. It's run by an Executive Committee made up of contractors and association executives. The purpose of the Division is to provide the industry with a year-round program of safety education through regional safety meetings for management and supervisory personnel, promotion of safety through individual trade associations, and development of material to back up these efforts. Committee members of the Division are always ready to assist any firm in the establishment and operation of a Safety Program. You can get help by calling on your local Builders' & Traders' Exchange or the trade association to which you belong.

All of this may sound rather commercial, and it was meant to be so because much of the cost of permitting carelessness, complacency and ignorance to visit your job sites is hidden. The stark tragedy of a mutilated or lifeless body, the grief of families to whom you must account faces you each day you send a man on your jobs. To prevent the accident and save the life is your first responsibility. And in the process you may well discover that "safety doesn't cost. It pays!"

NEW CONTRACTING FIRM

Formation of a new general contracting firm, James & Savage Corp., with headquarters at 1002 Fisher Building, Detroit 2, has been announced. A. S. James is chairman and treasurer. James N. Savage is president. Other directors are O. G. Sharrar, T. M. Leslie, K. K. Knepper, S. W. James, R. P. Mahar, G. A. Peck and James B. Hale. The telephone number is 873-2800.



Nearing completion, the ski lodge at Pine Knob is part of a \$1-million year-around recreation park being developed north of Pontiac, Michigan. Housed under the timbered, cantilevered roof will be nearly an acre of public rooms, including a lounge bar, restaurant-night club, skiers cafeteria, ski shop, and locker rooms. The new lodge was designed by Detroit Chapter member John Lightbourn of Architects Collective Inc.

30

October 12, 1962
Mr. James B. Hughes
Executive Director
Detroit Chapter, A.I.A.
28 West Adams
Detroit 26, Michigan
Re: Monthly Bulletin

Dear Jim:

After a thorough review of the October issue of the "Bulletin," I wish to praise you and your staff for the vast improvement of this issue over the prior publication which represented our society.

Since the "Bulletin" is to become one of the principal vehicles of the M.S.A., it is very important that a constant soul searching appraisal be made of each future issue to ensure that we continue in our efforts to bring about a publication which is without a doubt the very best of its type throughout this country. Please convey my feelings in regard to this matter to fellow members of your staff.

Sincerely yours,

Meathe, Kessler and Associates, Inc.
Philip J. Meathe, A.I.A.
Chairman, Policy Committee
M.S.A. "Monthly Bulletin"

Mr. James B. Hughes, A.I.A.
c/o Monthly Bulletin
28 West Adams Street
Detroit 26, Michigan

Dear Jim:

My congratulations to you and your staff for an outstanding start in our Society Magazine. This is a visual stimulation to the reorganization the M.S.A. has undergone this year. It is timely, and I am sure the membership will take new enthusiasm in the M.S.A. and the Bulletin.

On the same subject the Saginaw Valley Chapter formed a sub-committee of Saginaw Architects over a year ago, to work with the City of Saginaw on a Downtown Redevelopment Program. We have completed this study and have made a presentation of our design.

I think we have some real fine material for a story and if you are interested we will prepare a coverage.

Good Luck and Success to you and the Bulletin.

Sincerely,

Leslie D. Tincknell, Vice President
Saginaw Valley Chapter
American Institute of Architects

October 15, 1962
Mr. James Hughes
29 West Adams
Detroit 26, Michigan

Dear Jim:

The Continuing Monthly Bulletin is a real attractive publication in its new format. We wish to compliment the Society officers who have struggled through a trying period to make this achievement.

I have the workshop on November 17 on my calendar. If you have any suggestions for public relations, kindly let me know.

Very truly yours,

MANSON-JACKSON & KANE
Elmer J. Manson, A.I.A.
October 15, 1962

October 16, 1962
Mr. James B. Hughes, AIA
Michigan Society of Architects
28 West Adams
Detroit 26, Michigan

Dear Jim:

Congratulations on the October "Bulletin" particularly about the material regarding schools. I think we have every reason to be proud of the fine creative work that many of the Michigan architects are doing in the school building field, and the recognition of this work by your publication is quite appropriate.

Very truly yours,
Wilfred F. Clapp
Assistant Superintendent
Administrative Services

October 11, 1962
Mr. James B. Hughes, A.I.A.
28 W. Adams Street
Detroit 26, Michigan

Dear Jim:

I just had the happy experience of reading the October issue of the Monthly Bulletin.

The cover design, the contents and the entire publication, I feel, are an outstanding example of an Architectural publication, and one that all the members of the Michigan Society of Architects can be justly proud of. You are certainly to be complimented on this issue.

Looking forward to reading future issues of the Bulletin, I remain,

Sincerely,

Frederick E. Wigen Architect

ATTENTION: Mr. James Hughes,
A.I.A.

Dear Mr. Hughes:

Thank you very kindly for your response to my inquiry in regards to registration renewal in Michigan.

I definitely have retired from active practice and there would be no object in retaining my Michigan license, but what I was mostly concerned about was to keep in touch with the activities of the Michigan architects. The last paragraph of your letter gives me a suggestion which I can follow through; though, of course, I may lose the opportunity of being more closely identified with the M.S.A. However, this is what happens upon retirement.

I am retaining my membership in our State Chapter and am paid up in your Society for 1962. The Octagon office of the A.I.A. allows me to retain my membership on that of "Emeritus" status.

It is approximately 42 years ago when I started out as a draftsman in Detroit, and I believe there is still one or two left of that time.

I am enclosing a Money Order in the amount of \$7.50 for continuation of two years of the Monthly Bulletin, MSA beyond the expiration date.

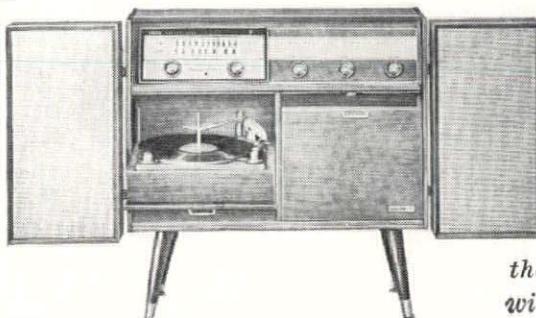
Sincerely,

Clarence Jahn, Architect
Box 272, Green Bay, Wisconsin

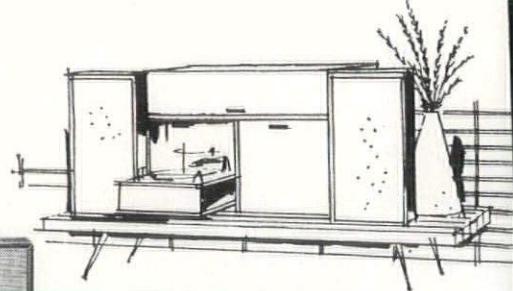


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before the name goes on*

Mr. Paul B. Brown, President
Detroit Chapter A.I.A.
2785 Ayrshire Drive
Bloomfield Hills, Michigan

Dear Mr. Brown:

I have recently resigned as president of Architectural Plastics Corporation to enter professional practice as a consultant to architects in the field of plastic building materials.

I have discussed the matter with Mr. William Scheick, your national Executive Director. It was his belief that architects would benefit greatly from the assistance of professional consultants in providing such services and your name was given us.

We intend to present the services of our organization in detail by a general mailing or personal presentation to each architectural office. Since this will take considerable time and preparation, I am writing to you and to officers of other AIA chapters requesting that you make a simple announcement of these services in your local bulletin or at your next chapter meeting. I take the liberty of making this unusual re-

quest in the belief that your membership will be sincerely interested in being advised of professional services in this specific field since such services have not been available heretofore. Indeed, there may be many involved in plastic projects or problems at this moment for which we could be of immediate assistance.

We have accumulated considerable knowledge and experience in the conception, design, engineering and application of materials and products in this field during the past ten years. We would be pleased to describe our services and qualifications more fully to any of the members of your chapter. Please give them our address.

Your kind assistance would be greatly appreciated.

Sincerely yours,

George R. Hermach
Director
Consultants to the Plastics and
Building Industries
150 Irving Road
Eugene, Oregon

DETROIT CHAPTER

NOVEMBER
JOINT MEETING
WITH IES

Grosse Pointe War Memorial

THURSDAY
NOVEMBER 15, 1962

SPEAKER

ROBERT DORSEY

Director, Lighting Application
Lighting Institute, Nela Park

DINNER—7:00 P.M.

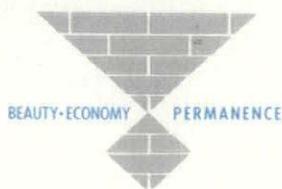
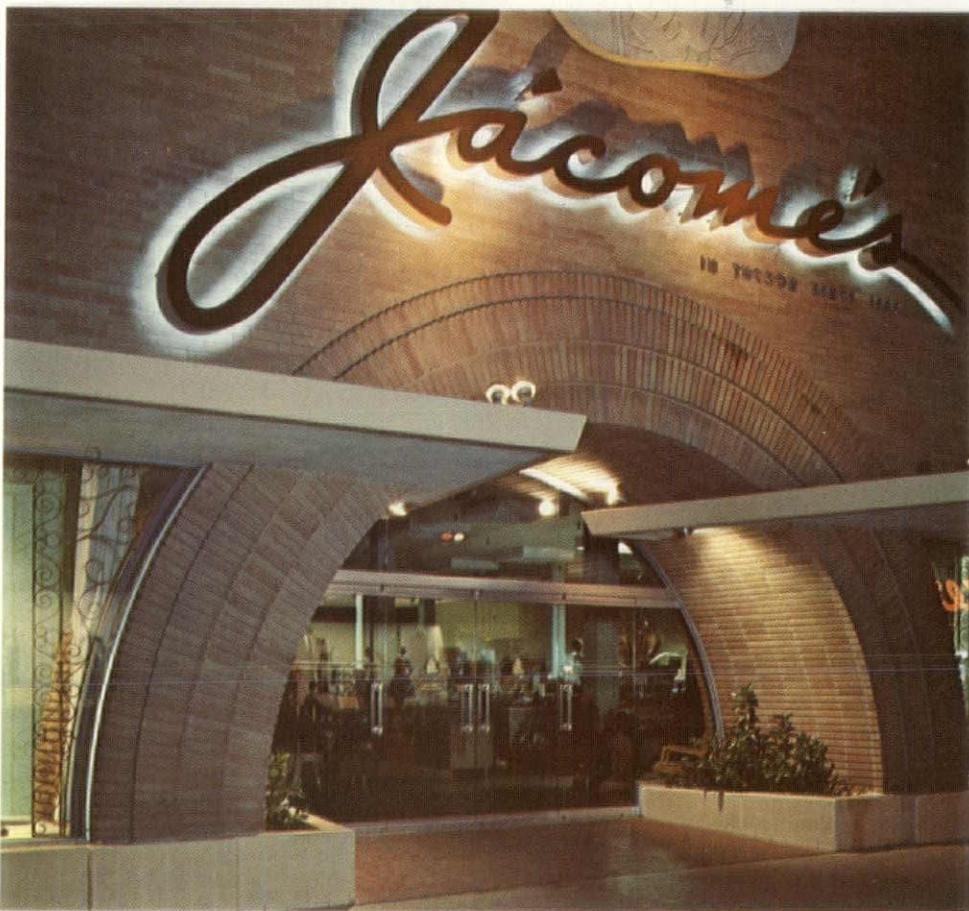
PROGRAM 8:00 P.M.

Ladies Invited



modern merchandising

In today's "revolution in retailing," store design is the major factor in reflecting the individuality of the merchant and his merchandise. This is the challenge to the architect: a design that creates a feeling of modern merchandising, yet is practical, efficient and economical. Because of its complete flexibility, no other product meets the architect's requirements as well as **BRICK . . .** the imaginative material.



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Columbus, Ohio: 1777 Inchcliff Road / Pittsburgh, Pa.: 807 Standard Life Bldg.



Ground was broken Sept. 13 for the 23-story office building of First Federal Savings of Detroit in ceremonies at the corner of Woodward and Michigan. Attending were officials of the city, state and federal governments, civic leaders interested in Detroit's downtown reconstruction programs and heads of the savings association which has become, in the last decade, the largest in Michigan. Hosts at the groundbreaking were Walter Gehrke, chairman of the board of First Federal; Hans Gehrke, Jr., president, and members of the board. Participating also were Robert F. Hastings, president of Smith, Hinckman & Grylls Associates, and other members of the architectural and engineering firm which has designed the building. It will stand on the site of Detroit's first skyscraper, the old Majestic Building, which was torn down late last year after purchase of the land, considered to be the most valuable parcel of commercial real estate in Detroit.

ARCHITECTURAL INTERIOR PRODUCTION MAN

Ten years experience in working drawings, scheduling, specifications and detailing of commercial interiors. Lead position in new branch of New York design firm. Forward resume and salary requirements. Box No. 254.

ARCHITECT, REGISTERED

With strong production and administration background in commercial building. Key position in new branch office of New York design firm. High salary. Forward resume. Box No. 253.

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Young man, 20 to 25. Architectural Drafting experience. Willing to learn all facets of window and curtain wall business, field trips etc. Must have own transportation. Give full particulars in writing. Mr. Bumann, P. O. Box 415, Farmington, Michigan.

WANTED

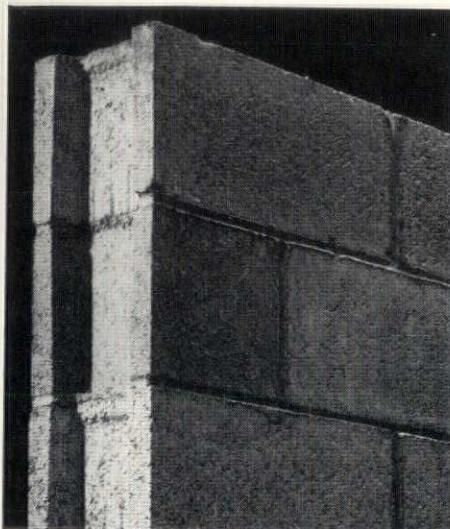
2 Job Captains
1 Senior Draftsman
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Odell Hewlett & Luckenbach

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Directions for a new method of insulating masonry structures when you specify quality, simplicity, longevity and economy:



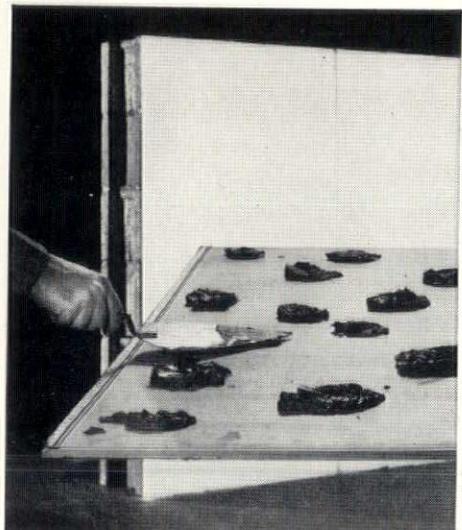
1. Take a masonry wall.



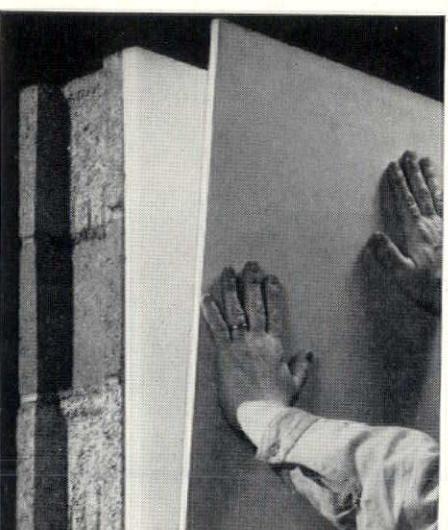
2. Apply Styrotac™ bonding cement.



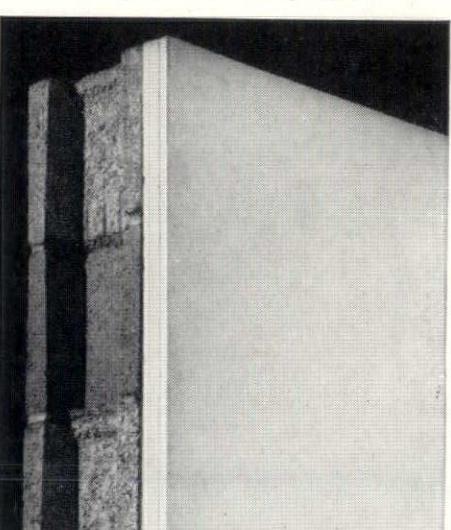
3. Press Styrofoam® into place.



4. Apply Styrotac bonding cement.



5. Press wallboard into place.



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You can also take advantage of a similar method when you specify wet plaster. Bond Styrofoam insulation board to the block or brick wall with portland cement mortar. For poured concrete walls use Styrocrete® latex additive with portland cement mortar. The wet plaster can then be applied directly to the face of the Styrofoam. That's because the cellular structure of Styrofoam insulation provides posi-

tive keying action to the plaster for maximum bonding strength. And no furring, lathing or studding is necessary.

Styrofoam insulation board offers high resistance to moisture and contains millions of tiny noninterconnecting cells which can't soak up water or moisture, can't rot or mildew. This—combined with its low "K" factor—makes Styrofoam an ideal, permanent insulator to reduce heating and cooling costs throughout the year.

Want more information on either the products or the methods? Write us in Midland, c/o Plastics Sales Dept. 1306

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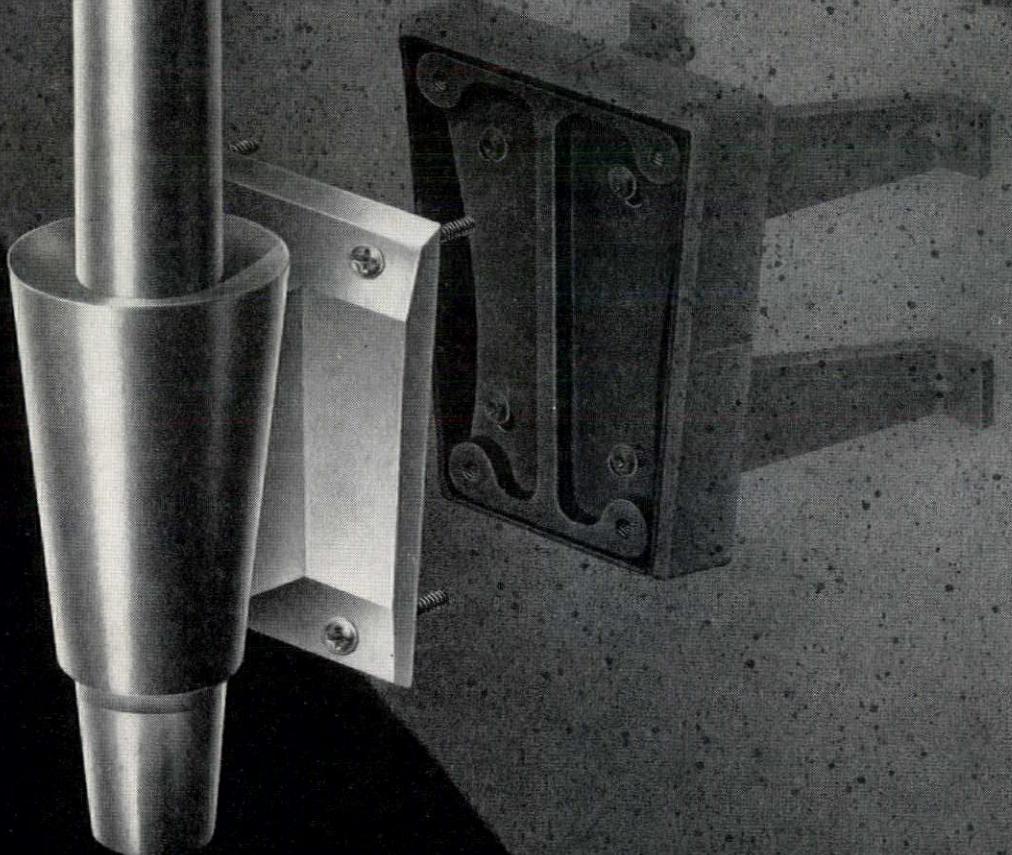
Midland, Michigan



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